



---

## REGULAR COUNCIL MEETING AGENDA

---

**I. Call to Order**

**II. Invocation**

**III. Pledge of Allegiance**

**IV. Roll Call:**

**V. Consideration of Agenda**

**VI. Consideration of Previous Minutes**

1. Regular Council Meeting 07/18/17
2. Committee of the Whole 07/18/17

**VII. Reports of Officers/Committees**

**A. City Administrator**

1. Regular Council Meeting 07/18/17
2. Committee of the Whole 07/18/17

**B. Director, Public Works**

**C. Director, Community Development**

1. BUILDING OFFICIAL'S REPORT FOR JULY, 2017

**D. Chief, Police Department**

**E. Chief, Fire Department**

**F. City Clerk**

**G. Director, Finance**

1. Finance Director's Report

**H. Director, Parks and Recreation**

**I. Director, Utilities**

**J. Librarian**

**K. Municipal Court**

**L. I.T. Director**

**M. Mayor/Council**

**VIII.Public Comments/Agenda Items**

**IX. Auditing of Accounts**

1. Auditing of Accounts

**X. Presentation(s)**

**XI. Recognition(s)**

**XII. Unfinished Business**

**Miscellaneous**

**Resolutions**

1. Resolution approving a Conditional Use Permit for Dollar General #5705 to be located at 4225 Orange Beach Boulevard (Case No. 0105-CU-17).
2. Resolution awarding the bid for Art Center Site Improvements to McElhenney Construction Company, LLC, in an amount not to exceed \$644,809.71.

**Ordinances**

**XIII.New Business**

**Miscellaneous**

1. ADDITION: Approval of a Special Events Retail Liquor License Application by Event Concessions, Inc., for "The Wharf Uncorked Wine and Culinary Event," Orange Beach Event Center, 4671 Wharf Parkway.
2. ADDITION: Approval of a Special Events Retail Liquor License Application by Event Concessions, Inc., for "The Wharf Uncorked Wine and Culinary Event Kickoff" at the Wharf, 4720 Main Street, Space M101 and M105.

**Resolutions**

1. Resolution declaring air rifle equipment and gear owned by the City of Orange Beach as surplus and unneeded and authorizing the donation of said property to American Legion Post 44, Gulf Shores.
2. ADDITION: Resolution authorizing execution of a social media service agreement with Socialize Your Bizness, Inc.
3. ADDITION: Resolution authorizing the Mayor to execute a professional services agreement with Alabama Land Title Company, Inc., to perform title services.



4. ADDITION: Resolution authorizing the Mayor to execute a professional services agreement with Sawgrass Consulting LLC for civil engineering, land surveying and construction management services.
5. ADDITION: Resolution authorizing the Mayor to execute a task order with Sawgrass Consulting LLC to perform land surveying of three properties located south of the Orange Beach Elementary School in an amount not to exceed \$4,000.

### **Public Hearing**

1. Public hearing for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0603-ZT-17, Section 10.02 - Architectural Restrictions, Metal Siding on Commercial Buildings.
2. Public hearing for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0605-ZT-17, Section 5.04 - Temporary Storage Containers.
3. Public hearing for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0702-PUD-17, Phoenix Orange Beach II PUD Preliminary and Final PUD Approval.

### **Ordinances**

1. First Reading - Ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0603-ZT-17, Section 10.02 - Architectural Restrictions, Metal Siding on Commercial Buildings.
2. First Reading - Ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0605-ZT-17, Section 5.04 - Temporary Storage Containers.
3. First Reading - Ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0702-PUD-17, Phoenix Orange Beach II PUD Preliminary and Final PUD Approval.
4. First Reading - Ordinance amending Chapter 50, Article III, Section 50-70 of the Code of Ordinances for the City of Orange Beach, Alabama, entitled "Business License - Penalties and Interest."
5. First Reading - Ordinance amending Chapter 50, Article IV, Division 2 of the Code of Ordinances for the City of Orange Beach, Alabama, entitled "Sales Tax" to require filing and payment of taxes online.
6. First Reading - Ordinance amending Chapter 42, Article III, Section 42-171 of the Code of Ordinances for the City of Orange Beach, Alabama, entitled "Basis for Areas of Special Flood Hazard."

### **XIV. Public Comments/Community Discussion**

### **XV. Adjourn**

FOR CURRENT INFORMATION REGARDING TIMES AND DATE OF MEETINGS  
OF THE COUNCIL AND COMMITTEE OF THE WHOLE, CALL 980-INFO (980-4636)  
FOR A RECORDED MESSAGE or **VISIT OUR WEB SITE**  
**AT** [www.cityoforangebeach.com](http://www.cityoforangebeach.com)



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

Regular Council Meeting 07/18/17

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Regular Council Meeting 07/18/17

**MINUTES OF  
REGULAR COUNCIL MEETING  
ORANGE BEACH CITY COUNCIL  
JULY 18, 2017 – 5:00 P.M.  
CITY HALL – COUNCIL CHAMBERS**

**I. CALL TO ORDER** Mayor Tony Kennon called the meeting to order at 5:00 P.M.

**II. INVOCATION** Pastor Kim Vanbrimmer, Orange Beach Presbyterian Church

**III. PLEDGE OF ALLEGIANCE**

**IV. ROLL CALL**

Present: Councilmember Jeff Silvers  
Councilmember Annette Mitchell  
Councilmember Joni Blalock  
Councilmember Jeff Boyd  
Mayor Tony Kennon

Absent: Councilmember Jerry Johnson

There being a quorum present, the meeting was opened for the transaction of business.

**V. CONSIDERATION OF AGENDA: Motion made (Sillers/Johnson) to approve the agenda as written.** Vote unanimous in favor.

**VI. CONSIDERATION OF PREVIOUS MINUTES**

Regular Council Meeting 06/20/17  
Committee of the Whole 06/20/17

The reading was waived and Minutes were approved as written.

**VII. REPORTS OF OFFICERS/COMMITTEES**

A. City Administrator – Ken Grimes

Mr. Grimes announced that the Cotton Bayou Boat Launch is now open.

B. Director, Public Works – Tim Tucker No report.

C. Engineering – Kit Alexander No report.

D. Chief, Police Department – Joe Fierro No report.

E. Chief, Fire Department – Justin Pearce

Chief Pearce recognized the recent promotions of Captain David Gant, Battalion Chief Jon Ed Wells, and Battalion Chief Kevin Lanford.

F. City Clerk – Cathy Constantino No report.

G. Director, Finance – Ford Handley Report attached.

H. Parks & Recreation No report.

I. Director, Utilities – Jeff Hartley No report.

J. Librarian, Public Library – Steven Gillis No report.

K. Director, Municipal Court – Renee Hobbs No report.

L. I. T. Director – Rauf Bolden No report.

M. Mayor/Council No report.

**VIII. AUDITING OF ACCOUNTS**

**Motion made (Mitchell/Boyd) to certify that cash requirements with no related interests are within budget and appropriate for payment.** Vote revealed: Silvers, aye; Mitchell, aye; Blalock, aye; Boyd, aye; Kennon, aye. **Passed. (5-0).**

**Motion made (Mitchell/Boyd) to certify that cash requirements with related interests in Swift Supply are within budget and appropriate for payment.** Vote revealed: Silvers, abstain; Mitchell, aye; Blalock, aye; Boyd, aye; Kennon, aye. **Passed. (4-0-1).**

**IX. PRESENTATIONS**

**X. RECOGNITIONS**

## **XI. UNFINISHED BUSINESS**

### **Resolutions**

1. Resolution approving a Conditional Use Permit for Dollar General #5705 to be located at 4225 Orange Beach Boulevard (Case No. 0105-CU-17). **Motion made (Silvers/Boyd) to adopt the resolution.** Discussion followed. Councilmembers all appreciated the new updated coastal design, but some councilmembers noted their continued concerns regarding traffic and noise. In light of the Council's concerns, Bob Broadway, representing the applicant, requested that the Council postpone consideration. **Motion made (Silvers/Boyd) to table the resolution.** Vote unanimous in favor.

## **XII. NEW BUSINESS**

### **Miscellaneous**

1. ADDITION: Approval of a Retail Beer (On or Off Premises) and Retail Table Wine (On or Off Premises) Liquor License Application by BayMed, LLC, for Red or White at the Wharf, 4851 Wharf Parkway, Space D128. **Motion made (Silvers/Mitchell) to approve the liquor license.** Vote unanimous in favor.

### **Resolutions**

1. Resolution adopting the provisions of Act 2017-367 and appropriating funds to cover the cost of a one-time lump sum payment to eligible retirees and beneficiaries through the State of Alabama Employees' Retirement System. **Motion made (Boyd) to adopt the resolution.** Motion died for lack of a second.
2. Resolution reappointing Suzanne Laurier to the Library Board. **Motion made (Silvers/Mitchell) to adopt the resolution.** Vote unanimous in favor.
3. Resolution authorizing the execution of a Purchasing Program Agreement with Staples Contract & Commercial, Inc. **Motion made (Blalock/Boyd) to adopt the resolution.** Vote unanimous in favor.
4. Resolution declaring fire truck as surplus and authorizing the execution of a brokerage agreement with Brindlee Mountain Fire Apparatus, L.L.C. **Motion made (Silvers/Mitchell) to adopt the resolution.** Vote unanimous in favor.
5. Resolution awarding the bid for Sportsplex Ball Field Improvements to Bay South Limited, Inc., in an amount not to exceed \$610,178.00. **Motion made (Silvers/Blalock) to adopt the resolution.** Vote unanimous in favor.

### **Ordinances**

1. First Reading – Ordinance amending Chapter 54 of the Code of Ordinances for the City of Orange Beach to add a new Article IV to prohibit the operation of unmanned aerial vehicles ("drones"). **Motion made (Blalock/Silvers) for unanimous consent to suspend the rules to allow for immediate consideration of this ordinance.** Roll call vote revealed: Silvers, aye; Mitchell, aye; Blalock, aye; Boyd, aye; Kennon, aye. **Passed. (5-0).** **Motion made (Blalock/Silvers) to adopt the ordinance.** Roll call vote revealed: Silvers, aye; Mitchell, aye; Blalock, aye; Boyd, aye; Kennon, aye. **Passed. (5-0).**
2. ADDITION: First Reading – Ordinance granting a nonexclusive franchise to Lyft, Inc., to provide transportation services in the City of Orange Beach and authorizing the execution of a franchise agreement. **Motion made (Boyd/Mitchell) for unanimous consent to suspend the rules to allow for immediate consideration of this ordinance.** Roll call vote revealed: Silvers, aye; Mitchell, aye; Blalock, aye; Boyd, aye; Kennon, aye. **Passed. (5-0).** **Motion made (Mitchell/Boyd) to adopt the ordinance.** Roll call vote revealed: Silvers, aye; Mitchell, aye; Blalock, aye; Boyd, aye; Kennon, aye. **Passed. (5-0).**

## **XIII. PUBLIC COMMENTS**

## **XIV. ADJOURN**

**There being no further business to come before the council, motion made (Mitchell/Blalock) to adjourn.** Vote unanimous in favor.

Time: 5:41 P.M.

**APPROVED** this the 15<sup>th</sup> day of August, 2017.

---

Renee Eberly  
City Clerk



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

Committee of the Whole 07/18/17

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- Committee of the Whole 07/18/17

**MINUTES OF  
COMMITTEE OF THE WHOLE MEETING  
ORANGE BEACH CITY COUNCIL  
JULY 18, 2017 – 5:41 P.M.  
CITY HALL – COUNCIL CHAMBERS**

The Orange Beach City Council met to review potential items for the August 1, 2017, agenda.

The following members were present:

Councilmember Jeff Silvers  
Councilmember Annette Mitchell  
Councilmember Joni Blalock  
Councilmember Jeff Boyd  
Mayor Tony Kennon

The following members were absent:

Councilmember Jerry Johnson

The following items were discussed:

1. Rescheduling the August 1, 2017, Council and Committee of the Whole Meetings from 5:00 P.M. to 4:00 P.M.
2. Resolution awarding the bid for Art Center Site Improvements.
3. Resolution declaring property located at 23015 Perdido Beach Blvd. as a public nuisance and further authorizing the city to take appropriate action to abate said nuisance.
4. Resolution declaring property located at 5636 Louisiana Street as a public nuisance and further authorizing the city to take appropriate action to abate said nuisance. This issue has been resolved.
5. Set a public hearing date for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0603-ZT-17, Section 10.02 - Architectural Restrictions, Metal Siding on Commercial Buildings. Public hearing set for August 15, 2017, at 5:00 P.M.
6. Set a public hearing date for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0605-ZT-17, Section 5.04 - Temporary Storage Containers. Public hearing set for August 15, 2017, at 5:00 P.M.
7. Set a public hearing date for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0702-PUD-17, Phoenix Orange Beach II PUD Preliminary and Final PUD Approval. Public hearing set for August 15, 2017, at 5:00 P.M.
8. Set a public hearing date for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0703-PUD-17, Greenway Apartments at Orange Beach PUD Preliminary PUD Approval. Public hearing set for August 15, 2017, at 5:00 P.M.
9. **Motion made (Boyd/Blalock) to enter into Executive Session to discuss (1) threatened and pending litigation, (2) economic development, and (3) real estate.** The City Attorney advised the Council that a declaration was required by the Open Meetings Act for an Executive Session; therefore, she stated for the record that she was duly qualified and had the personal knowledge to provide the requisite declaration for the stated purposes of the Executive Session authorized by the Act. Vote unanimous in favor to enter into executive session.

Time in: 6:08 P.M.

The meeting reconvened at 7:00 P.M.

There being no further business, the meeting adjourned.

Time: 7:00 P.M.

**APPROVED** this 15<sup>th</sup> day of August, 2017.

---

Renee Eberly  
City Clerk



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Building

**Description of Topic:**

BUILDING OFFICIAL'S REPORT FOR JULY, 2017

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ BUILDING OFFICAL'S REPORT

# BUILDING OFFICIAL'S REPORT

8/1/2017

Issue Date From: 7/1/2017 To: 7/31/2017

## BL - BUILDING PERMIT

### 2017

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1147	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$8,000.00	\$85.00
					<b>Total Permit : 2017-1147</b>	<b>\$85.00</b>
2017-1154	Permit Fee	7 /7 /2017	7 /7 /2017	A	\$175,275.00	\$761.10
	IMPACT SF - PARKS & REC	7 /7 /2017	7 /7 /2017	A	\$0.00	\$891.64
	IMPACT SF - FIRE	7 /7 /2017	7 /7 /2017	A	\$0.00	\$311.04
	IMPACT SF - POLICE	7 /7 /2017	7 /7 /2017	A	\$0.00	\$103.68
	IMPACT SF -	7 /7 /2017	7 /7 /2017	A	\$0.00	\$684.28
	IMPACT SF - LIBRARY	7 /7 /2017	7 /7 /2017	A	\$0.00	\$82.94
					<b>Total Permit : 2017-1154</b>	<b>\$2,834.68</b>
2017-1161	Permit Fee	7 /12/2017	7 /12/2017	A	\$208,913.10	\$870.65
	IMPACT SF - PARKS & REC	7 /12/2017	7 /12/2017	A	\$0.00	\$1,075.70
	IMPACT SF - FIRE	7 /12/2017	7 /12/2017	A	\$0.00	\$375.24
	IMPACT SF - POLICE	7 /12/2017	7 /12/2017	A	\$0.00	\$125.08
	IMPACT SF -	7 /12/2017	7 /12/2017	A	\$0.00	\$825.54
	IMPACT SF - LIBRARY	7 /12/2017	7 /12/2017	A	\$0.00	\$100.07
					<b>Total Permit : 2017-1161</b>	<b>\$3,372.28</b>
2017-1165	Permit Fee	7 /12/2017	7 /12/2017	A	\$266,451.36	\$1,100.81
	IMPACT SF - PARKS & REC	7 /12/2017	7 /12/2017	A	\$0.00	\$1,323.12
	IMPACT SF - FIRE	7 /12/2017	7 /12/2017	A	\$0.00	\$461.55
	IMPACT SF - POLICE	7 /12/2017	7 /12/2017	A	\$0.00	\$153.85
	IMPACT SF -	7 /12/2017	7 /12/2017	A	\$0.00	\$1,015.41
	IMPACT SF - LIBRARY	7 /12/2017	7 /12/2017	A	\$0.00	\$123.08
					<b>Total Permit : 2017-1165</b>	<b>\$4,177.82</b>
2017-1166	Permit Fee	7 /12/2017	7 /12/2017	A	\$265,686.36	\$1,097.75
	IMPACT SF - PARKS & REC	7 /12/2017	7 /12/2017	A	\$0.00	\$1,319.83
	IMPACT SF - FIRE	7 /12/2017	7 /12/2017	A	\$0.00	\$460.40
	IMPACT SF - POLICE	7 /12/2017	7 /12/2017	A	\$0.00	\$153.47
	IMPACT SF -	7 /12/2017	7 /12/2017	A	\$0.00	\$1,012.89
	IMPACT SF - LIBRARY	7 /12/2017	7 /12/2017	A	\$0.00	\$122.77
					<b>Total Permit : 2017-1166</b>	<b>\$4,167.11</b>
2017-1171	Permit Fee	7 /19/2017	7 /19/2017	A	\$266,451.36	\$1,100.81
	IMPACT SF - PARKS & REC	7 /19/2017	7 /19/2017	A	\$0.00	\$1,323.12
	IMPACT SF - FIRE	7 /19/2017	7 /19/2017	A	\$0.00	\$461.55
	IMPACT SF - POLICE	7 /19/2017	7 /19/2017	A	\$0.00	\$153.85
	IMPACT SF -	7 /19/2017	7 /19/2017	A	\$0.00	\$1,015.41
	IMPACT SF - LIBRARY	7 /19/2017	7 /19/2017	A	\$0.00	\$123.08
					<b>Total Permit : 2017-1171</b>	<b>\$4,177.82</b>
2017-1178	Permit Fee	7 /10/2017	7 /10/2017	A	\$5,500.00	\$146.00
					<b>Total Permit : 2017-1178</b>	<b>\$146.00</b>
2017-1185	Permit Fee	7 /7 /2017	7 /7 /2017	A	\$1,000.00	\$85.00
	CREDIT CARD FEE	7 /7 /2017	7 /7 /2017	A	\$0.00	\$2.55
					<b>Total Permit : 2017-1185</b>	<b>\$87.55</b>
2017-1191	Permit Fee	7 /10/2017	7 /10/2017	A	\$289,758.72	\$1,219.03
	IMPACT SF - PARKS & REC	7 /10/2017	7 /10/2017	A	\$0.00	\$1,503.96
	IMPACT SF - FIRE	7 /10/2017	7 /10/2017	A	\$0.00	\$524.64
	IMPACT SF - POLICE	7 /10/2017	7 /10/2017	A	\$0.00	\$174.88



# BL - BUILDING PERMIT

2017-1191	IMPACT SF -	7 /10/2017	7 /10/2017	A	\$0.00	\$1,154.20
	IMPACT SF - LIBRARY	7 /10/2017	7 /10/2017	A	\$0.00	\$139.91
					<b>Total Permit : 2017-1191</b>	<b>\$4,716.62</b>
2017-1194	Permit Fee	7 /12/2017	7 /12/2017	A	\$236,399.16	\$980.60
	IMPACT SF - PARKS & REC	7 /12/2017	7 /12/2017	A	\$0.00	\$1,283.12
	IMPACT SF - FIRE	7 /12/2017	7 /12/2017	A	\$0.00	\$447.60
	IMPACT SF - POLICE	7 /12/2017	7 /12/2017	A	\$0.00	\$149.20
	IMPACT SF -	7 /12/2017	7 /12/2017	A	\$0.00	\$984.72
	IMPACT SF - LIBRARY	7 /12/2017	7 /12/2017	A	\$0.00	\$119.35
					<b>Total Permit : 2017-1194</b>	<b>\$3,964.59</b>
2017-1208	Permit Fee	7 /11/2017	7 /11/2017	A	\$307,286.13	\$1,264.14
	IMPACT SF - PARKS & REC	7 /11/2017	7 /11/2017	A	\$0.00	\$1,652.43
	IMPACT SF - FIRE	7 /11/2017	7 /11/2017	A	\$0.00	\$576.43
	IMPACT SF - POLICE	7 /11/2017	7 /11/2017	A	\$0.00	\$192.14
	IMPACT SF -	7 /11/2017	7 /11/2017	A	\$0.00	\$1,268.14
	IMPACT SF - LIBRARY	7 /11/2017	7 /11/2017	A	\$0.00	\$153.72
					<b>Total Permit : 2017-1208</b>	<b>\$5,107.00</b>
2017-1222	Permit Fee	7 /14/2017	7 /14/2017	A	\$420.00	\$135.00
					<b>Total Permit : 2017-1222</b>	<b>\$135.00</b>
2017-1225	Permit Fee	7 /14/2017	7 /14/2017	A	\$7,600.00	\$85.00
	CREDIT CARD FEE	7 /14/2017	7 /14/2017	A	\$0.00	\$2.55
					<b>Total Permit : 2017-1225</b>	<b>\$87.55</b>
2017-1237	Permit Fee	7 /26/2017	7 /26/2017	A	\$800.00	\$85.00
					<b>Total Permit : 2017-1237</b>	<b>\$85.00</b>
2017-1249	Permit Fee	7 /20/2017	7 /20/2017	A	\$35,000.00	\$245.00
					<b>Total Permit : 2017-1249</b>	<b>\$245.00</b>
2017-1253	Permit Fee	7 /20/2017	7 /20/2017	A	\$18,000.00	\$171.00
					<b>Total Permit : 2017-1253</b>	<b>\$171.00</b>
2017-1255	Permit Fee	7 /20/2017	7 /20/2017	A	\$2,510.64	\$135.00
					<b>Total Permit : 2017-1255</b>	<b>\$135.00</b>
2017-1257	Permit Fee	7 /25/2017	7 /25/2017	A	\$184,806.00	\$799.22
					<b>Total Permit : 2017-1257</b>	<b>\$799.22</b>
2017-1261	Permit Fee	7 /25/2017	7 /25/2017	A	\$184,806.00	\$799.22
	IMPACT SF - PARKS & REC	7 /25/2017	7 /25/2017	A	\$0.00	\$972.04
	IMPACT SF - FIRE	7 /25/2017	7 /25/2017	A	\$0.00	\$339.08
	IMPACT SF - POLICE	7 /25/2017	7 /25/2017	A	\$0.00	\$113.03
	IMPACT SF -	7 /25/2017	7 /25/2017	A	\$0.00	\$745.98
	IMPACT SF - LIBRARY	7 /25/2017	7 /25/2017	A	\$0.00	\$90.42
					<b>Total Permit : 2017-1261</b>	<b>\$3,059.77</b>
2017-1265	Permit Fee	7 /21/2017	7 /21/2017	A	\$9,000.00	\$85.00
					<b>Total Permit : 2017-1265</b>	<b>\$85.00</b>
2017-1292	Permit Fee	7 /27/2017	7 /27/2017	A	\$100,000.00	\$635.00
					<b>Total Permit : 2017-1292</b>	<b>\$635.00</b>
2017-1298	Permit Fee	7 /27/2017	7 /27/2017	A	\$5,000.00	\$210.00
					<b>Total Permit : 2017-1298</b>	<b>\$210.00</b>
2017-1300	Permit Fee	7 /28/2017	7 /28/2017	A	\$30,000.00	\$215.00
					<b>Total Permit : 2017-1300</b>	<b>\$215.00</b>

Total Fees Collected during 07/2017 : \$38,699.01  
Total \*\*\*FEE BASED\*\*\* 07/2017 : \$2,608,663.83  
Total Number of 'BL' Permits Issued during 07/2017 : 23

**BL - BUILDING PERMIT**

Total Fees Collected during 2017 : \$38,699.01  
 Total '\*\*FEE BASED\*\*' 2017 : \$2,608,663.83  
 Total Number of 'BL' Permits Issued during 2017 : 23

Total 'BL' Fees Collected : \$38,699.01

Total '\*\*FEE BASED\*\*' : \$2,608,663.83

Total Number of 'BL' Permits Issued : 23

**DM - DEMOLITION****2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1132	Permit Fee	7 / 7 / 2017	7 / 7 / 2017	A		\$210.00
<b>Total Permit : 2017-1132</b>						\$210.00
Total Fees Collected during 07/2017 :						\$210.00
Total '*FLAT FEE' 07/2017 :						
Total Number of 'DM' Permits Issued during 07/2017 :						1
Total Fees Collected during 2017 :						\$210.00
Total '*FLAT FEE' 2017 :						
Total Number of 'DM' Permits Issued during 2017 :						1
<b>Total 'DM' Fees Collected :</b>						<b>\$210.00</b>
<b>Total '*FLAT FEE' :</b>						
<b>Total Number of 'DM' Permits Issued :</b>						<b>1</b>

**EL - ELECTRICAL PERMIT****2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1139	Permit Fee	7 / 3 / 2017	7 / 3 / 2017	A		\$130.00
<b>Total Permit : 2017-1139</b>						\$130.00
2017-1140	Permit Fee	7 / 3 / 2017	7 / 3 / 2017	A		\$130.00
<b>Total Permit : 2017-1140</b>						\$130.00
2017-1141	Permit Fee	7 / 3 / 2017	7 / 3 / 2017	A		\$130.00
<b>Total Permit : 2017-1141</b>						\$130.00
2017-1150	Permit Fee	7 / 5 / 2017	7 / 5 / 2017	A		\$85.00
<b>Total Permit : 2017-1150</b>						\$85.00
2017-1183	Permit Fee	7 / 7 / 2017	7 / 7 / 2017	A	\$10,000.00	\$85.00
<b>Total Permit : 2017-1183</b>						\$85.00
2017-1189	Permit Fee	7 / 10 / 2017	7 / 10 / 2017	A	\$16,300.00	\$205.00
<b>Total Permit : 2017-1189</b>						\$205.00
2017-1203	Permit Fee	7 / 20 / 2017	7 / 20 / 2017	A		\$75.00
<b>Total Permit : 2017-1203</b>						\$75.00
2017-1207	Permit Fee	7 / 11 / 2017	7 / 11 / 2017	A	\$1,650.00	\$85.00
<b>Total Permit : 2017-1207</b>						\$85.00
2017-1210	Permit Fee	7 / 11 / 2017	7 / 11 / 2017	A	\$120,000.00	\$280.00
	CREDIT CARD FEE	7 / 11 / 2017	7 / 11 / 2017	A	\$0.00	\$8.40
<b>Total Permit : 2017-1210</b>						\$288.40
2017-1218	Permit Fee	7 / 12 / 2017	7 / 12 / 2017	A	\$51,076.30	\$0.00
<b>Total Permit : 2017-1218</b>						\$0.00
2017-1221	Permit Fee	7 / 13 / 2017	7 / 13 / 2017	A		\$85.00
<b>Total Permit : 2017-1221</b>						\$85.00
2017-1224	Permit Fee	7 / 14 / 2017	7 / 14 / 2017	A		\$60.00

## EL - ELECTRICAL PERMIT

				<b>Total Permit : 2017-1224</b>	\$60.00
2017-1228	Permit Fee	7 /17/2017	7 /17/2017	A \$6,000.00	\$140.00
				<b>Total Permit : 2017-1228</b>	\$140.00
2017-1234	Permit Fee	7 /17/2017	7 /17/2017	A \$2,100.00	\$55.00
				<b>Total Permit : 2017-1234</b>	\$55.00
2017-1235	Permit Fee	7 /18/2017	7 /18/2017	A \$6,500.00	\$140.00
				<b>Total Permit : 2017-1235</b>	\$140.00
2017-1252	Permit Fee	7 /20/2017	7 /20/2017	A \$5,000.00	\$60.00
				<b>Total Permit : 2017-1252</b>	\$60.00
2017-1254	Permit Fee	7 /20/2017	7 /20/2017	A \$10,750.00	\$164.90
				<b>Total Permit : 2017-1254</b>	\$164.90
2017-1267	Permit Fee	7 /21/2017	7 /21/2017	A \$10,000.00	\$140.00
				<b>Total Permit : 2017-1267</b>	\$140.00
2017-1278	Permit Fee	7 /24/2017	7 /24/2017	A \$900.00	\$85.00
				<b>Total Permit : 2017-1278</b>	\$85.00
2017-1279	Permit Fee	7 /24/2017	7 /24/2017	A \$1,000.00	\$85.00
				<b>Total Permit : 2017-1279</b>	\$85.00
2017-1282	Permit Fee	7 /24/2017	7 /24/2017	A	\$85.00
				<b>Total Permit : 2017-1282</b>	\$85.00
2017-1288	Permit Fee	7 /26/2017	7 /26/2017	A \$5,000.00	\$95.00
				<b>Total Permit : 2017-1288</b>	\$95.00
2017-1289	Permit Fee	7 /26/2017	7 /26/2017	A \$5,000.00	\$305.00
				<b>Total Permit : 2017-1289</b>	\$305.00
2017-1290	Permit Fee	7 /26/2017	7 /26/2017	A \$5,000.00	\$125.00
				<b>Total Permit : 2017-1290</b>	\$125.00
2017-1291	Permit Fee	7 /26/2017	7 /26/2017	A	\$75.00
				<b>Total Permit : 2017-1291</b>	\$75.00
2017-1295	Permit Fee	7 /27/2017	7 /27/2017	A \$5,000.00	\$110.00
				<b>Total Permit : 2017-1295</b>	\$110.00
2017-1299	Permit Fee	7 /28/2017	7 /28/2017	A \$6,500.00	\$350.00
				<b>Total Permit : 2017-1299</b>	\$350.00
2017-1303	Permit Fee	7 /31/2017	7 /31/2017	A	\$205.00
				<b>Total Permit : 2017-1303</b>	\$205.00
Total Fees Collected during 07/2017 :					\$3,578.30
Total '**FEE BASED**' 07/2017 :					\$267,776.30
Total Number of 'EL' Permits Issued during 07/2017 :					28
Total Fees Collected during 2017 :					\$3,578.30
Total '**FEE BASED**' 2017 :					\$267,776.30
Total Number of 'EL' Permits Issued during 2017 :					28
<b>Total 'EL' Fees Collected :</b>					<b>\$3,578.30</b>
<b>Total '**FEE BASED**' :</b>					<b>\$267,776.30</b>
<b>Total Number of 'EL' Permits Issued :</b>					<b>28</b>

## GAS - NATURAL / LP GAS PERMIT

### 2017

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1103	Permit Fee	7 /11/2017	7 /11/2017	A	\$8,000.00	\$96.00
	CREDIT CARD FEE	7 /11/2017	7 /11/2017	A	\$0.00	\$2.88
				<b>Total Permit : 2017-1103</b>		<b>\$98.88</b>

## GAS - NATURAL / LP GAS PERMIT

2017-1144	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$1,000.00	\$96.00
					<b>Total Permit : 2017-1144</b>	<b>\$96.00</b>
2017-1160	Permit Fee	7 /6 /2017	7 /6 /2017	A	\$450.00	\$88.00
	CREDIT CARD FEE	7 /6 /2017	7 /6 /2017	A	\$0.00	\$2.64
					<b>Total Permit : 2017-1160</b>	<b>\$90.64</b>
2017-1177	Permit Fee	7 /6 /2017	7 /6 /2017	A	\$800.00	\$104.00
	CREDIT CARD FEE	7 /6 /2017	7 /6 /2017	A	\$0.00	\$3.12
					<b>Total Permit : 2017-1177</b>	<b>\$107.12</b>
2017-1212	Permit Fee	7 /11/2017	7 /11/2017	A		\$96.00
	CREDIT CARD FEE	7 /11/2017	7 /11/2017	A	\$0.00	\$2.88
					<b>Total Permit : 2017-1212</b>	<b>\$98.88</b>
2017-1213	Permit Fee	7 /11/2017	7 /11/2017	A		\$104.00
	CREDIT CARD FEE	7 /11/2017	7 /11/2017	A	\$0.00	\$3.12
					<b>Total Permit : 2017-1213</b>	<b>\$107.12</b>
2017-1240	Permit Fee	7 /19/2017	7 /19/2017	A	\$800.00	\$104.00
					<b>Total Permit : 2017-1240</b>	<b>\$104.00</b>
2017-1241	Permit Fee	7 /19/2017	7 /19/2017	A	\$800.00	\$104.00
					<b>Total Permit : 2017-1241</b>	<b>\$104.00</b>
2017-1302	Permit Fee	7 /31/2017	7 /31/2017	A	\$800.00	\$104.00
					<b>Total Permit : 2017-1302</b>	<b>\$104.00</b>

Total Fees Collected during 07/2017 : \$910.64  
 Total 'FEE BASED' 07/2017 : \$12,650.00  
 Total Number of 'GAS' Permits Issued during 07/2017 : 9  
 Total Fees Collected during 2017 : \$910.64  
 Total 'FEE BASED' 2017 : \$12,650.00  
 Total Number of 'GAS' Permits Issued during 2017 : 9

**Total 'GAS' Fees Collected : \$910.64**

**Total FEE BASED : \$12,650.00**

**Total Number of 'GAS' Permits Issued : 9**

## MARINE - MARINE ACCESSORY BUILDINGS & STRUCTURES PERMIT

**2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1068	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$38,000.00	\$149.00
					<b>Total Permit : 2017-1068</b>	<b>\$149.00</b>
2017-1202	Permit Fee	7 /20/2017	7 /20/2017	A	\$22,400.00	\$102.20
					<b>Total Permit : 2017-1202</b>	<b>\$102.20</b>
2017-1244	Permit Fee	7 /26/2017	7 /26/2017	A	\$6,500.00	\$60.00
	CREDIT CARD FEE	7 /26/2017	7 /26/2017	A	\$0.00	\$1.80
					<b>Total Permit : 2017-1244</b>	<b>\$61.80</b>
2017-1245	Permit Fee	7 /21/2017	7 /21/2017	A	\$7,000.00	\$60.00
					<b>Total Permit : 2017-1245</b>	<b>\$60.00</b>
2017-1287	Permit Fee	7 /28/2017	7 /28/2017	A		\$305.00
					<b>Total Permit : 2017-1287</b>	<b>\$305.00</b>

Total Fees Collected during 07/2017 : \$678.00  
 Total " 07/2017 : \$73,900.00  
 Total Number of 'MARINE' Permits Issued during 07/2017 : 5



## MARINE - MARINE ACCESSORY BUILDINGS & STRUCTURES PERMIT

Total Fees Collected during 2017 :	\$678.00
Total " 2017 :	\$73,900.00
Total Number of 'MARINE' Permits Issued during 2017 :	5
<b>Total 'MARINE' Fees Collected :</b>	<b>\$678.00</b>
<b>Total :</b>	<b>\$73,900.00</b>
<b>Total Number of 'MARINE' Permits Issued :</b>	<b>5</b>

## ME - MECHANICAL PERMIT

### 2017

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-550	Permit Fee	7 /10/2017	7 /10/2017	A	\$9,985.00	\$165.00
					<b>Total Permit : 2017-550</b>	<b>\$165.00</b>
2017-859	Permit Fee	7 /10/2017	7 /10/2017	A	\$8,100.00	\$100.00
					<b>Total Permit : 2017-859</b>	<b>\$100.00</b>
2017-907	Permit Fee	7 /10/2017	7 /10/2017	A	\$11,725.00	\$100.00
					<b>Total Permit : 2017-907</b>	<b>\$100.00</b>
2017-929	Permit Fee	7 /10/2017	7 /10/2017	A	\$6,800.00	\$100.00
					<b>Total Permit : 2017-929</b>	<b>\$100.00</b>
2017-963	Permit Fee	7 /10/2017	7 /10/2017	A	\$2,115.00	\$100.00
					<b>Total Permit : 2017-963</b>	<b>\$100.00</b>
2017-1146	Permit Fee	7 /10/2017	7 /10/2017	A	\$3,544.58	\$100.00
					<b>Total Permit : 2017-1146</b>	<b>\$100.00</b>
2017-1153	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$6,000.00	\$135.00
					<b>Total Permit : 2017-1153</b>	<b>\$135.00</b>
2017-1159	Permit Fee	7 /11/2017	7 /11/2017	A	\$2,500.00	\$100.00
					<b>Total Permit : 2017-1159</b>	<b>\$100.00</b>
2017-1181	Permit Fee	7 /11/2017	7 /11/2017	A	\$3,710.00	\$100.00
					<b>Total Permit : 2017-1181</b>	<b>\$100.00</b>
2017-1182	Permit Fee	7 /7 /2017	7 /7 /2017	A	\$6,000.00	\$135.00
					<b>Total Permit : 2017-1182</b>	<b>\$135.00</b>
2017-1188	Permit Fee	7 /7 /2017	7 /7 /2017	A	\$4,400.00	\$135.00
	CREDIT CARD FEE	7 /7 /2017	7 /7 /2017	A	\$0.00	\$4.05
					<b>Total Permit : 2017-1188</b>	<b>\$139.05</b>
2017-1190	Permit Fee	7 /13/2017	7 /13/2017	A	\$7,046.00	\$100.00
					<b>Total Permit : 2017-1190</b>	<b>\$100.00</b>
2017-1211	Permit Fee	7 /11/2017	7 /11/2017	A		\$100.00
					<b>Total Permit : 2017-1211</b>	<b>\$100.00</b>
2017-1219	Permit Fee	7 /12/2017	7 /12/2017	A		\$100.00
					<b>Total Permit : 2017-1219</b>	<b>\$100.00</b>
2017-1227	Permit Fee	7 /17/2017	7 /17/2017	A	\$8,335.00	\$335.00
					<b>Total Permit : 2017-1227</b>	<b>\$335.00</b>
2017-1230	Permit Fee	7 /17/2017	7 /17/2017	A	\$2,000.00	\$65.00
					<b>Total Permit : 2017-1230</b>	<b>\$65.00</b>
2017-1231	Permit Fee	7 /24/2017	7 /24/2017	A	\$10,500.00	\$135.00
					<b>Total Permit : 2017-1231</b>	<b>\$135.00</b>
2017-1236	Permit Fee	7 /20/2017	7 /20/2017	A	\$50,575.00	\$535.00
					<b>Total Permit : 2017-1236</b>	<b>\$535.00</b>
2017-1243	Permit Fee	7 /19/2017	7 /19/2017	A	\$4,400.00	\$100.00
	CREDIT CARD FEE	7 /19/2017	7 /19/2017	A	\$0.00	\$3.00

## PEX - PERMIT EXTENSION

Total Fees Collected during 2017 :	\$103.00
Total "SUB FEES" 2017 :	\$0.00
Total Number of 'PEX' Permits Issued during 2017 :	1
<b>Total 'PEX' Fees Collected :</b>	<b>\$103.00</b>
<b>Total "SUB FEES" :</b>	<b>\$0.00</b>
<b>Total Number of 'PEX' Permits Issued :</b>	<b>1</b>

## PL - PLUMBING PERMIT

### 2017

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1102	Permit Fee	7 /11/2017	7 /11/2017	A	\$8,000.00	\$125.00
	CREDIT CARD FEE	7 /11/2017	7 /11/2017	A	\$0.00	\$3.75
	<b>Total Permit : 2017-1102</b>					<b>\$128.75</b>
2017-1143	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$4,000.00	\$120.00
	<b>Total Permit : 2017-1143</b>					<b>\$120.00</b>
2017-1145	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$7,000.00	\$125.00
	<b>Total Permit : 2017-1145</b>					<b>\$125.00</b>
2017-1156	Permit Fee	7 /6 /2017	7 /6 /2017	A	\$6,500.00	\$140.00
	<b>Total Permit : 2017-1156</b>					<b>\$140.00</b>
2017-1157	Permit Fee	7 /6 /2017	7 /6 /2017	A		\$140.00
	<b>Total Permit : 2017-1157</b>					<b>\$140.00</b>
2017-1233	Permit Fee	7 /17/2017	7 /17/2017	A	\$2,100.00	\$60.00
	<b>Total Permit : 2017-1233</b>					<b>\$60.00</b>
2017-1242	Permit Fee	7 /19/2017	7 /19/2017	A	\$3,000.00	\$60.00
	CREDIT CARD FEE	7 /19/2017	7 /19/2017	A	\$0.00	\$1.80
	<b>Total Permit : 2017-1242</b>					<b>\$61.80</b>
2017-1273	Permit Fee	7 /21/2017	7 /21/2017	A	\$8,700.00	\$125.00
	CREDIT CARD FEE	7 /21/2017	7 /21/2017	A	\$0.00	\$3.75
	<b>Total Permit : 2017-1273</b>					<b>\$128.75</b>
2017-1274	Permit Fee	7 /21/2017	7 /21/2017	A	\$7,800.00	\$115.00
	CREDIT CARD FEE	7 /21/2017	7 /21/2017	A	\$0.00	\$3.45
	<b>Total Permit : 2017-1274</b>					<b>\$118.45</b>
2017-1275	Permit Fee	7 /21/2017	7 /21/2017	A	\$8,700.00	\$125.00
	CREDIT CARD FEE	7 /21/2017	7 /21/2017	A	\$0.00	\$3.75
	<b>Total Permit : 2017-1275</b>					<b>\$128.75</b>
2017-1311	Permit Fee	7 /31/2017	7 /31/2017	A	\$8,200.00	\$130.00
	CREDIT CARD FEE	7 /31/2017	7 /31/2017	A	\$0.00	\$3.90
	<b>Total Permit : 2017-1311</b>					<b>\$133.90</b>
2017-1312	Permit Fee	7 /31/2017	7 /31/2017	A	\$8,700.00	\$125.00
	CREDIT CARD FEE	7 /31/2017	7 /31/2017	A	\$0.00	\$3.75
	<b>Total Permit : 2017-1312</b>					<b>\$128.75</b>
2017-1313	Permit Fee	7 /31/2017	7 /31/2017	A	\$7,800.00	\$115.00
	CREDIT CARD FEE	7 /31/2017	7 /31/2017	A	\$0.00	\$3.45
	<b>Total Permit : 2017-1313</b>					<b>\$118.45</b>

Total Fees Collected during 07/2017 :	\$1,532.60
Total "SUB FEES" 07/2017 :	\$80,500.00
Total Number of 'PL' Permits Issued during 07/2017 :	13

**PL - PLUMBING PERMIT**

Total Fees Collected during 2017 : \$1,532.60  
 Total \*\*\*SUB FEES\*\*\* 2017 : \$80,500.00  
 Total Number of 'PL' Permits Issued during 2017 : 13

Total 'PL' Fees Collected :	\$1,532.60
Total **SUB FEES** :	\$80,500.00
Total Number of 'PL' Permits Issued :	13

**PR - PLAN REVIEW****2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1142	Permit Fee	7 /3 /2017	7 /3 /2017	A	\$148,738.80	\$297.48
					<b>Total Permit : 2017-1142</b>	\$297.48
2017-1155	Permit Fee	7 /6 /2017	7 /6 /2017	A	\$299,409.06	\$598.82
					<b>Total Permit : 2017-1155</b>	\$598.82
2017-1205	Permit Fee	7 /25/2017	7 /25/2017	A	\$268,175.25	\$536.35
					<b>Total Permit : 2017-1205</b>	\$536.35
2017-1226	Permit Fee	7 /25/2017	7 /25/2017	A	\$340,488.72	\$680.98
					<b>Total Permit : 2017-1226</b>	\$680.98
2017-1268	Permit Fee	7 /21/2017	7 /21/2017	A	\$872,746.30	\$1,750.00
					<b>Total Permit : 2017-1268</b>	\$1,750.00

Total Fees Collected during 07/2017 : \$3,863.63  
 Total 'FEE BASED JOB COST' 07/2017 : \$1,929,558.13  
 Total Number of 'PR' Permits Issued during 07/2017 : 5  
 Total Fees Collected during 2017 : \$3,863.63  
 Total 'FEE BASED JOB COST' 2017 : \$1,929,558.13  
 Total Number of 'PR' Permits Issued during 2017 : 5  
 Total 'PR' Fees Collected : \$3,863.63  
 Total FEE BASED JOB COST : \$1,929,558.13  
 Total Number of 'PR' Permits Issued : 5

**ROOF - ROOFING PERMIT****2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1151	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$9,672.81	\$85.00
	CREDIT CARD FEE	7 /5 /2017	7 /5 /2017	A	\$0.00	\$2.55
					<b>Total Permit : 2017-1151</b>	\$87.55
2017-1152	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$8,420.56	\$185.00
	CREDIT CARD FEE	7 /5 /2017	7 /5 /2017	A	\$0.00	\$5.55
					<b>Total Permit : 2017-1152</b>	\$190.55
2017-1158	Permit Fee	7 /6 /2017	7 /6 /2017	A	\$12,000.00	\$85.00
	CREDIT CARD FEE	7 /6 /2017	7 /6 /2017	A	\$0.00	\$2.55
					<b>Total Permit : 2017-1158</b>	\$87.55
2017-1162	Permit Fee	7 /12/2017	7 /12/2017	A		\$100.00
					<b>Total Permit : 2017-1162</b>	\$100.00
2017-1167	Permit Fee	7 /12/2017	7 /12/2017	A		\$100.00
					<b>Total Permit : 2017-1167</b>	\$100.00
2017-1169	Permit Fee	7 /12/2017	7 /12/2017	A	\$1,200.00	\$100.00
					<b>Total Permit : 2017-1169</b>	\$100.00
2017-1172	Permit Fee	7 /19/2017	7 /19/2017	A		\$100.00



## ROOF - ROOFING PERMIT

				<b>Total Permit : 2017-1172</b>	\$100.00
2017-1174	Permit Fee	7 /7 /2017	7 /7 /2017	A	\$100.00
				<b>Total Permit : 2017-1174</b>	\$100.00
2017-1184	Permit Fee	7 /10/2017	7 /10/2017	A	\$85.00
				<b>Total Permit : 2017-1184</b>	\$85.00
2017-1192	Permit Fee	7 /10/2017	7 /10/2017	A	\$100.00
				<b>Total Permit : 2017-1192</b>	\$100.00
2017-1195	Permit Fee	7 /12/2017	7 /12/2017	A	\$100.00
				<b>Total Permit : 2017-1195</b>	\$100.00
2017-1199	Permit Fee	7 /10/2017	7 /10/2017	A	\$8,000.00
	CREDIT CARD FEE	7 /10/2017	7 /10/2017	A	\$0.00
				<b>Total Permit : 2017-1199</b>	\$87.55
2017-1209	Permit Fee	7 /11/2017	7 /11/2017	A	\$100.00
				<b>Total Permit : 2017-1209</b>	\$100.00
2017-1229	Permit Fee	7 /17/2017	7 /17/2017	A	\$9,828.00
				<b>Total Permit : 2017-1229</b>	\$85.00
2017-1248	Permit Fee	7 /20/2017	7 /20/2017	A	\$7,430.73
				<b>Total Permit : 2017-1248</b>	\$85.00
2017-1258	Permit Fee	7 /25/2017	7 /25/2017	A	\$5,000.00
				<b>Total Permit : 2017-1258</b>	\$100.00
2017-1262	Permit Fee	7 /25/2017	7 /25/2017	A	\$5,000.00
				<b>Total Permit : 2017-1262</b>	\$100.00

Total Fees Collected during 07/2017 : \$1,708.20  
 Total \*\*\*FEE BASED\*\*\* 07/2017 : \$66,552.10  
 Total Number of 'ROOF' Permits Issued during 07/2017 : 17  
 Total Fees Collected during 2017 : \$1,708.20  
 Total \*\*\*FEE BASED\*\*\* 2017 : \$66,552.10  
 Total Number of 'ROOF' Permits Issued during 2017 : 17

**Total 'ROOF' Fees Collected : \$1,708.20**

**Total \*\*FEE BASED\*\* : \$66,552.10**

**Total Number of 'ROOF' Permits Issued : 17**

## SIGN - SIGN PERMIT

### 2017

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1138/1446	Permit Fee	7 /14/2017	7 /14/2017	A		\$30.00
				<b>Total Permit : 2017-1138/1446</b>		\$30.00
2017-1220/1447	Permit Fee	7 /13/2017	7 /13/2017	A		\$30.00
				<b>Total Permit : 2017-1220/1447</b>		\$30.00
2017-1239	Permit Fee	7 /19/2017	7 /19/2017	A		\$15.00
				<b>Total Permit : 2017-1239</b>		\$15.00
2017-1269/1449	Permit Fee	7 /21/2017	7 /21/2017	A		\$52.00
				<b>Total Permit : 2017-1269/1449</b>		\$52.00
2017-1294/1450	Permit Fee	7 /27/2017	7 /27/2017	A		\$30.00
				<b>Total Permit : 2017-1294/1450</b>		\$30.00

Total Fees Collected during 07/2017 : \$157.00  
 Total " 07/2017 :  
 Total Number of 'SIGN' Permits Issued during 07/2017 : 5



**SIGN - SIGN PERMIT**

Total Fees Collected during 2017 :	\$157.00
Total " 2017 :	
Total Number of 'SIGN' Permits Issued during 2017 :	5
Total 'SIGN' Fees Collected :	\$157.00
Total :	
Total Number of 'SIGN' Permits Issued :	5

**SP - SWIMMING POOL PERMIT****2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1044	Permit Fee	7 /10/2017	7 /10/2017	A		\$135.00
					<b>Total Permit : 2017-1044</b>	\$135.00
2017-1148	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$80,693.00	\$85.00
	CREDIT CARD FEE	7 /5 /2017	7 /5 /2017	A	\$0.00	\$2.55
					<b>Total Permit : 2017-1148</b>	\$87.55
2017-1197	Permit Fee	7 /10/2017	7 /10/2017	A	\$30,500.00	\$85.00
					<b>Total Permit : 2017-1197</b>	\$85.00
2017-1200	Permit Fee	7 /13/2017	7 /13/2017	A	\$30,000.00	\$85.00
					<b>Total Permit : 2017-1200</b>	\$85.00
2017-1214	Permit Fee	7 /12/2017	7 /12/2017	A	\$71,244.00	\$85.00
					<b>Total Permit : 2017-1214</b>	\$85.00
2017-1216	Permit Fee	7 /12/2017	7 /12/2017	A	\$27,336.00	\$85.00
					<b>Total Permit : 2017-1216</b>	\$85.00
					Total Fees Collected during 07/2017 :	\$562.55
					Total '**JOB COST**' 07/2017 :	\$239,773.00
					Total Number of 'SP' Permits Issued during 07/2017 :	6
					Total Fees Collected during 2017 :	\$562.55
					Total '**JOB COST**' 2017 :	\$239,773.00
					Total Number of 'SP' Permits Issued during 2017 :	6
					Total 'SP' Fees Collected :	\$562.55
					Total '**JOB COST**' :	\$239,773.00
					Total Number of 'SP' Permits Issued :	6

**SW - STORMWATER PERMIT****2017**

Permit #	Amount Description	Issued	Paid	Status	Job Cost	Amount
2017-1149	Permit Fee	7 /5 /2017	7 /5 /2017	A	\$0.00	\$85.00
	CREDIT CARD FEE	7 /5 /2017	7 /5 /2017	A	\$0.00	\$2.55
					<b>Total Permit : 2017-1149</b>	\$87.55
2017-1163	Permit Fee	7 /12/2017	7 /12/2017	A		\$135.00
					<b>Total Permit : 2017-1163</b>	\$135.00
2017-1168	Permit Fee	7 /12/2017	7 /12/2017	A		\$135.00
					<b>Total Permit : 2017-1168</b>	\$135.00
2017-1170	Permit Fee	7 /12/2017	7 /12/2017	A	\$0.00	\$135.00
					<b>Total Permit : 2017-1170</b>	\$135.00
2017-1173	Permit Fee	7 /19/2017	7 /19/2017	A		\$135.00
					<b>Total Permit : 2017-1173</b>	\$135.00
2017-1175	Permit Fee	7 /7 /2017	7 /7 /2017	A		\$135.00
					<b>Total Permit : 2017-1175</b>	\$135.00

## SW - STORMWATER PERMIT

2017-1179	Permit Fee	7 /10/2017	7 /10/2017	A	\$0.00	\$85.00
				<b>Total Permit : 2017-1179</b>		\$85.00
2017-1180	Permit Fee	7 /7 /2017	7 /7 /2017	A		\$85.00
				<b>Total Permit : 2017-1180</b>		\$85.00
2017-1186	Permit Fee	7 /7 /2017	7 /7 /2017	A		\$85.00
	CREDIT CARD FEE	7 /7 /2017	7 /7 /2017	A	\$0.00	\$2.55
				<b>Total Permit : 2017-1186</b>		\$87.55
2017-1193	Permit Fee	7 /10/2017	7 /10/2017	A		\$135.00
				<b>Total Permit : 2017-1193</b>		\$135.00
2017-1196	Permit Fee	7 /12/2017	7 /12/2017	A		\$135.00
				<b>Total Permit : 2017-1196</b>		\$135.00
2017-1198	Permit Fee	7 /10/2017	7 /10/2017	A		\$85.00
				<b>Total Permit : 2017-1198</b>		\$85.00
2017-1201	Permit Fee	7 /13/2017	7 /13/2017	A		\$85.00
				<b>Total Permit : 2017-1201</b>		\$85.00
2017-1206	Permit Fee	7 /11/2017	7 /11/2017	A		\$135.00
				<b>Total Permit : 2017-1206</b>		\$135.00
2017-1215	Permit Fee	7 /12/2017	7 /12/2017	A		\$85.00
				<b>Total Permit : 2017-1215</b>		\$85.00
2017-1217	Permit Fee	7 /12/2017	7 /12/2017	A		\$85.00
				<b>Total Permit : 2017-1217</b>		\$85.00
2017-1223	Permit Fee	7 /14/2017	7 /14/2017	A		\$85.00
				<b>Total Permit : 2017-1223</b>		\$85.00
2017-1232	Permit Fee	7 /17/2017	7 /17/2017	A		\$85.00
				<b>Total Permit : 2017-1232</b>		\$85.00
2017-1250	Permit Fee	7 /20/2017	7 /20/2017	A	\$0.00	\$85.00
				<b>Total Permit : 2017-1250</b>		\$85.00
2017-1256	Permit Fee	7 /20/2017	7 /20/2017	A	\$0.00	\$85.00
				<b>Total Permit : 2017-1256</b>		\$85.00
2017-1259	Permit Fee	7 /25/2017	7 /25/2017	A	\$0.00	\$135.00
				<b>Total Permit : 2017-1259</b>		\$135.00
2017-1263	Permit Fee	7 /25/2017	7 /25/2017	A	\$0.00	\$135.00
				<b>Total Permit : 2017-1263</b>		\$135.00
2017-1266	Permit Fee	7 /21/2017	7 /21/2017	A	\$0.00	\$85.00
				<b>Total Permit : 2017-1266</b>		\$85.00
2017-1301	Permit Fee	7 /28/2017	7 /28/2017	A		\$85.00
				<b>Total Permit : 2017-1301</b>		\$85.00
Total Fees Collected during 07/2017 :						\$2,545.10
Total 'FEE BASED' 07/2017 :						\$0.00
Total Number of 'SW' Permits Issued during 07/2017 :						24
Total Fees Collected during 2017 :						\$2,545.10
Total 'FEE BASED' 2017 :						\$0.00
Total Number of 'SW' Permits Issued during 2017 :						24
Total 'SW' Fees Collected :						\$2,545.10
Total FEE BASED :						\$0.00
Total Number of 'SW' Permits Issued :						24



Grand Total Fees Collected:	\$59,584.18
Grand Total Job Cost:	\$5,464,548.94
Grand Total Number of Permits Issued:	169

Year to Date Collected:	\$580,163.62
Year to Date Permis:	1226

Respectfully submitted,

Landon K. Smith, CBO, CFM  
BUILDING OFFICIAL

## BUILDING PERMIT REVENUE

2012 – 2017

	2012	2013	2014	2015	2016	2017
January	6,861.63	27,249.31	125,102.04	64,602.05	79,090.66	50,523.99
February	8,478.54	90,366.55	47,799.21	50,481.14	97,416.61	77,281.74
March	8,877.38	23,074.86	38,587.44	38,389.36	65,535.82	99,977.10
April	16,021.02	69,978.65	27,420.69	237,792.26	76,178.89	113,429.50
May	19,781.75	47,699.69	39,323.15	35,743.35	66,881.15	119,940.47
June	14,493.96	54,688.73	52,555.79	343,813.81	51,109.27	63,691.74
July	26,690.98	11,072.83	37,697.04	54,282.51	30,370.82	59,869.18
August	16,074.23	45,569.13	25,504.16	401,851.35	59,960.56	
September	27,356.13	36,691.95	58,197.78	53,861.75	190,411.09	
October	24,997.44	27,508.13	49,833.27	235,774.60	38,662.47	
November	37,021.12	63,339.22	44,346.22	44,432.83	872,674.24	
December	8,606.36	44,771.13	46,036.37	41,981.24	76,291.15	
<b>TOTAL</b>						
<b>YTD</b>	215,260.54	541,710.18	592,403.16	1,603,006.25	1,704,582.73	584,713.72



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Finance

**Description of Topic:**

Finance Director's Report

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Revenue Expenditure Statement
- ▣ Outstanding Debt
- ▣ Bridge Totals 6-30-17

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>001</b>	LOCAL TAXES								
001-000-200	AD VALOREM TAXES	291,666.67	6,246.27	1,750,000.00	1,253,699.78	3,500,000.00	36.00	496,300.22	2,246,300.22
001-000-201	BEER TAXES	41,666.67	65,352.56	250,000.00	210,651.21	500,000.00	42.00	39,348.79	289,348.79
001-000-202	WINE TAXES	3,083.33	4,386.00	18,500.00	20,996.93	37,000.00	57.00	2,496.93-	16,003.07
001-000-203	GASOLINE TAX	6,750.00	8,881.05	40,500.00	37,320.76	81,000.00	46.00	3,179.24	43,679.24
001-000-204	FRANCHISE TAX	112,500.00	12,688.42	675,000.00	1,235,519.31	1,350,000.00	92.00	560,519.31-	114,480.69
001-000-205	SALES TAX	691,666.67	1,210,849.89	4,150,000.00	4,777,362.71	8,300,000.00	58.00	627,362.71-	3,522,637.29
001-000-206	TOBACCO TAX	4,166.67	6,812.57	25,000.00	27,426.92	50,000.00	55.00	2,426.92-	22,573.08
001-000-207	LODGING TAX	816,666.67	1,440,709.54	4,900,000.00	4,370,688.33	9,800,000.00	45.00	529,311.67	5,429,311.67
001-000-208	USE TAX	58,333.33	86,800.87	350,000.00	470,911.41	700,000.00	67.00	120,911.41-	229,088.59
001-000-209	RENTAL TAX	19,166.67	38,051.13	115,000.00	129,800.38	230,000.00	56.00	14,800.38-	100,199.62
	TOTAL LOCAL TAXES	2,045,666.67	2,880,778.30	12,274,000.00	12,534,377.74	24,548,000.00	51.00	260,377.74-	12,013,622.26
001-000-226	BUSINESS LICENSE	183,333.33	40,181.32	1,100,000.00	2,215,855.21	2,200,000.00	101.00	1,115,855.21-	15,855.21-
001-000-227	SIGN MAINTENANCE FEE	0.00	600.00	0.00	6,263.76	0.00	100.00	6,263.76-	6,263.76-
001-000-228	BUILDING PERMITS	70,833.33	32,522.68	425,000.00	295,945.54	850,000.00	35.00	129,054.46	554,054.46
001-000-229	PLAN REVIEW FEE	10,000.00	8,522.97	60,000.00	61,187.84	120,000.00	51.00	1,187.84-	58,812.16
001-000-230	SIGN PERMITS	166.67	258.32	1,000.00	1,464.72	2,000.00	73.00	464.72-	535.28
001-000-231	IMPACT FEE P & R	21,666.67	7,103.87	130,000.00	63,366.21	260,000.00	24.00	66,633.79	196,633.79
001-000-232	IMPACT FEE FIRE	8,333.33	2,478.10	50,000.00	33,136.50	100,000.00	33.00	16,863.50	66,863.50
001-000-233	IMPACT FEE POLICE	2,500.00	826.03	15,000.00	11,714.16	30,000.00	39.00	3,285.84	18,285.84
001-000-234	IMPACT FEE TRANS	15,833.33	5,451.81	95,000.00	66,682.28	190,000.00	35.00	28,317.72	123,317.72
001-000-235	IMPACT FEE LIBRARY	1,583.33	660.82	9,500.00	5,894.42	19,000.00	31.00	3,605.58	13,105.58
001-000-236	CONSTR IND CRAFT TRAIN FE	0.00	0.00	0.00	7.00-	0.00	100.00	7.00	7.00
	TOTAL LICENSE/PERMIT	314,250.00	98,605.92	1,885,500.00	2,761,503.64	3,771,000.00	73.00	876,003.64-	1,009,496.36
001-000-251	ADEM (COASTAL MGT)	2,875.00	0.00	17,250.00	0.00	34,500.00	0.00	17,250.00	34,500.00
001-000-252	NRA FOUNDATION GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-253	NEP OVERLAY DIST GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-000-254	ADECA REC TRAIL GRT	16,666.67	0.00	100,000.00	0.00	200,000.00	0.00	100,000.00	200,000.00
001-000-255	LIBRARY GRANTS	833.33	0.00	5,000.00	0.00	10,000.00	0.00	5,000.00	10,000.00
001-000-258	FIREFIGHTERS GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-259	BP GRANT VIA STATE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-260	FIN INSTI EXCISE TAX	250.00	0.00	1,500.00	0.00	3,000.00	0.00	1,500.00	3,000.00
001-000-261	OIL PRODUCTION PRIV TAX	666.67	13.11	4,000.00	3,807.46	8,000.00	48.00	192.54	4,192.54
001-000-262	2% TAX ON ABC STORE SALES	2,750.00	2,480.25	16,500.00	11,201.73	33,000.00	34.00	5,298.27	21,798.27
001-000-263	UNIV SO MS GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-264	NOAA GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-265	NATURE CONSERVANCY GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-266	NEP 161 WETLD RESTORE GRT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-267	GoMESA GRANT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-268	ADECA LAW ENF GRT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-269	GOM RESTORE P'SHIP	10,833.33	0.00	65,000.00	0.00	130,000.00	0.00	65,000.00	130,000.00
001-000-270	ACAMP CANOE TRL GRT	1,666.67	0.00	10,000.00	0.00	20,000.00	0.00	10,000.00	20,000.00
001-000-271	ACAMP CANAL RD GRT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-272	TAP SIDEWALK GRANT	33,333.33	0.00	200,000.00	0.00	400,000.00	0.00	200,000.00	400,000.00
001-000-281	P&R SALES REVENUE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-282	R&R SALES TAX	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-283	P&R SALES TAX PAID	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL ST OF AL REVENUE	69,875.00	2,493.36	419,250.00	15,009.19	838,500.00	2.00	404,240.81	823,490.81
001-000-301	BOA VARIANCE/APPEAL FEE	83.33	300.00	500.00	1,100.00	1,000.00	110.00	600.00-	100.00-
001-000-304	PLANNING APPLICATIONS	3,333.33	20,222.00	20,000.00	86,192.00	40,000.00	215.00	66,192.00-	46,192.00-
001-000-307	CONTRACTS/SVCI RGTS	33,333.33	979.60	200,000.00	104,895.75	400,000.00	26.00	95,104.25	295,104.25
001-000-310	COPIES	208.33	2,305.50	1,250.00	4,889.72	2,500.00	196.00	3,639.72-	2,389.72-
001-000-311	PERSONNEL SVC REIM	5,833.33	10,157.50	35,000.00	27,075.18	70,000.00	39.00	7,924.82	42,924.82
001-000-313	FINES/RESTITUTIONS	32,500.00	60,560.11	195,000.00	259,139.53	390,000.00	66.00	64,139.53-	130,860.47
001-000-316	GIFTS	3,750.00	933.00	22,500.00	29,425.51	45,000.00	65.00	6,925.51-	15,574.49
001-000-319	INTEREST EARNED	2,500.00	3,377.91	15,000.00	22,375.06	30,000.00	75.00	7,375.06-	7,624.94

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-000-322	LIBRARY PROCEEDS	1,288.33	0.00	7,730.00	0.00	15,460.00	0.00	7,730.00	15,460.00
001-000-325	MISCELLANEOUS INCOME	3,750.00	1,169.71	22,500.00	14,526.26	45,000.00	32.00	7,973.74	30,473.74
001-000-327	WWLC FEES	2,500.00	3,689.18	15,000.00	22,045.08	30,000.00	73.00	7,045.08-	7,954.92
001-000-328	P&R CONCESSION SALES	16,250.00	24,657.40	97,500.00	74,015.25	195,000.00	38.00	23,484.75	120,984.75
001-000-330	P&R FACILITY FEES	29,166.67	31,225.97	175,000.00	197,709.20	350,000.00	56.00	22,709.20-	152,290.80
001-000-332	P&R LESSONS	2,083.33	2,735.00	12,500.00	18,562.25	25,000.00	74.00	6,062.25-	6,437.75
001-000-334	P&R PROGRAM FEES	18,750.00	35,105.00	112,500.00	132,303.50	225,000.00	59.00	19,803.50-	92,696.50
001-000-335	DEF DRIVE PGM FEES	1,333.33	750.00	8,000.00	8,280.00	16,000.00	52.00	280.00-	7,720.00
001-000-337	RENTALS - LAND/BLDGS	6,141.67	6,557.43	36,850.00	30,896.42	73,700.00	42.00	5,953.58	42,803.58
001-000-340	SURPLUS PROCEEDS	30,833.33	0.00	185,000.00	14,551.00	370,000.00	4.00	170,449.00	355,449.00
	TOTAL OTHER REVENUE	193,638.33	204,725.31	1,161,830.00	1,047,981.71	2,323,660.00	45.00	113,848.29	1,275,678.29
001-000-351	LESS:10% STATUTORY REDCT	255,355.50-	0.00	1,532,133.00-	0.00	3,064,266.00-	0.00	1,532,133.00-	3,064,266.00-
	TOTAL STATUTORY REDCT	255,355.50-	0.00	1,532,133.00-	0.00	3,064,266.00-	0.00	1,532,133.00-	3,064,266.00-
	TOTAL REVENUE	2,368,074.50	3,186,602.89	14,208,447.00	16,358,872.28	28,416,894.00	58.00	2,150,425.28-	12,058,021.72
001-000-355	PROCEEDS INS CLAIM	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-356	PRODEEDS BR AGMT	15,241.67	15,239.31	91,450.00	89,979.35	182,900.00	49.00	1,470.65	92,920.65
001-000-357	PROCEEDS GEN L/T DEBT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-358	PROCEEDS LAND SALE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-359	PRIOR FY FUND BAL FORWARD	3,170,000.00	0.00	19,020,000.00	0.00	38,040,000.00	0.00	19,020,000.00	38,040,000.00
001-000-360	TSF FROM P&R RETAIL FUND	9,250.00	50,000.00	55,500.00	50,000.00	111,000.00	45.00	5,500.00	61,000.00
001-000-361	TSF FROM SPEC REV FUND	41,750.00	464,784.11	250,500.00	1,990,947.70	501,000.00	397.00	1,740,447.70-	1,489,947.70-
001-000-362	TSF FROM DEBT SVC FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-363	PROCEEDS HURRI CLMS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-364	PROCEEDS BP LOI	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-365	TSF FROM SEW FD	57,916.67	0.00	347,500.00	695,000.00	695,000.00	100.00	347,500.00-	0.00

## Revenue Expense

001

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-000-366	(GAIN)/LOSS ON BOND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL FIN FROM OTHER SRC	3,294,158.33	530,023.42	19,764,950.00	2,825,927.05	39,529,900.00	7.00	16,939,022.95	36,703,972.95
	TOT REV & SRC	5,662,232.83	3,716,626.31	33,973,397.00	19,184,799.33	67,946,794.00	28.00	14,788,597.67	48,761,994.67
001-000-801	BOND ISSUE COSTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-802	BOND ISSUE DISCOUNT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-803	BOND ISSUE PREMIUM	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-804	AMT USED FOR DEFEASENCE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-000-805	TRANSFER TO DEBT SVS FUND	408,240.00	410,956.24	2,449,440.00	2,465,616.62	4,898,880.00	50.00	16,176.62-	2,433,263.38
001-000-900	TSF TO BCBC FUND	83,333.33-	219,804.00-	500,000.00-	520,068.30-	1,000,000.00-	52.00	20,068.30	479,931.70-
001-000-901	CAPITAL RESERVE FUND	1,030,981.42	0.00	6,185,888.50	0.00	12,371,777.00	0.00	6,185,888.50	12,371,777.00
001-000-902	PERMANENT RESERVE FD	753,333.33	0.00	4,520,000.00	0.00	9,040,000.00	0.00	4,520,000.00	9,040,000.00
001-000-903	TRANSFER TO SPEC REV FUND	14,500.00	456,417.63	87,000.00	1,840,570.29	174,000.00	1,058.00	1,753,570.29-	1,666,570.29-
001-000-904	TSF TO EVENTS CTR FUND	29,983.33	0.00	179,900.00	0.00	359,800.00	0.00	179,900.00	359,800.00
001-000-905	RESERVE FUND	833,333.33	0.00	5,000,000.00	0.00	10,000,000.00	0.00	5,000,000.00	10,000,000.00
001-000-906	TSF TO WHARF	41,666.67	56,468.45	250,000.00	210,131.16	500,000.00	42.00	39,868.84	289,868.84
001-000-907	TSF TO ARTS	33,929.17	0.00	203,575.00	0.00	407,150.00	0.00	203,575.00	407,150.00
001-000-908	TSF TO REFUSE FUND	19,208.33	0.00	115,250.00	0.00	230,500.00	0.00	115,250.00	230,500.00
001-000-910	HURR DAMAGE RPR	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER FIN USES	3,081,842.25	704,038.32	18,491,053.50	3,996,249.77	36,982,107.00	11.00	14,494,803.73	32,985,857.23
001-001-401	SALARIES	55,000.00	57,487.14	330,000.00	368,401.45	660,000.00	56.00	38,401.45-	291,598.55
001-001-402	OVERTIME	83.33	0.00	500.00	367.78	1,000.00	37.00	132.22	632.22
001-001-460	RETIREMENT	3,333.33	3,038.62	20,000.00	15,045.61	40,000.00	38.00	4,954.39	24,954.39
001-001-470	FICA	4,216.67	4,655.16	25,300.00	29,939.38	50,600.00	59.00	4,639.38-	20,660.62
001-001-480	INSURANCE/HEALTH	11,833.33	13,442.99	71,000.00	81,539.78	142,000.00	57.00	10,539.78-	60,460.22
001-001-490	SUTA	66.67	0.00	400.00	530.27	800.00	66.00	130.27-	269.73



## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-001-491	INSURANCE/WORK COMP	116.67	0.00	700.00	2,466.94	1,400.00	176.00	1,766.94-	1,066.94-
001-001-507	EQUIPMENT/SMALL	1,250.00	0.00	7,500.00	4,389.74	15,000.00	29.00	3,110.26	10,610.26
001-001-510	GAS/OIL	166.67	89.33	1,000.00	1,004.67	2,000.00	50.00	4.67-	995.33
001-001-513	SUPPLIES/JANITORIAL	83.33	0.00	500.00	286.86	1,000.00	29.00	213.14	713.14
001-001-515	SUPPLIES/OFFICE	333.33	0.00	2,000.00	0.00	4,000.00	0.00	2,000.00	4,000.00
001-001-516	SUPPLIES/OPERATING	2,166.67	2,732.34	13,000.00	13,181.54	26,000.00	51.00	181.54-	12,818.46
001-001-605	COMMUNICATIONS	6,250.00	44,867.06	37,500.00	57,492.75	75,000.00	77.00	19,992.75-	17,507.25
001-001-608	DUES/MEMBERSHIP/SUBSCRIPT	666.67	903.16	4,000.00	4,758.33	8,000.00	59.00	758.33-	3,241.67
001-001-610	INSURANCE/PTY&LIAB	35,000.00	448,643.01	210,000.00	450,992.61	420,000.00	107.00	240,992.61-	30,992.61-
001-001-612	PROFESSIONAL FEES	59,108.33	77,611.83	354,650.00	308,668.12	709,300.00	44.00	45,981.88	400,631.88
001-001-616	RPR/MAINT PLANT/BLDGS	2,750.00	736.90	16,500.00	15,746.63	33,000.00	48.00	753.37	17,253.37
001-001-618	RPR/MAINT EQUIPMENT	583.33	40.12	3,500.00	1,989.55	7,000.00	28.00	1,510.45	5,010.45
001-001-622	RPR/MAINT VEHICLES	333.33	1,714.72	2,000.00	2,590.40	4,000.00	65.00	590.40-	1,409.60
001-001-630	TRAINING/TRAVEL	8,041.67	5,600.77	48,250.00	16,965.64	96,500.00	18.00	31,284.36	79,534.36
001-001-635	UTILITIES	1,500.00	2,461.61	9,000.00	9,199.58	18,000.00	51.00	199.58-	8,800.42
001-001-640	MISCELLANEOUS	1,666.67	0.00	10,000.00	10,024.96	20,000.00	50.00	24.96-	9,975.04
001-001-645	AID TO OTHER GOVTS	11,250.00	0.00	67,500.00	91,678.50	135,000.00	68.00	24,178.50-	43,321.50
001-001-650	EXHIBITIONS & PROMOTIONS	2,500.00	0.00	15,000.00	17,481.40	30,000.00	58.00	2,481.40-	12,518.60
	TOTAL GENERAL GOVT	208,300.00	664,024.76	1,249,800.00	1,504,742.49	2,499,600.00	60.00	254,942.49-	994,857.51
001-010-401	SALARIES	16,125.00	15,959.75	96,750.00	96,414.73	193,500.00	50.00	335.27	97,085.27
001-010-402	OVERTIME	500.00	2,983.07	3,000.00	13,118.01	6,000.00	219.00	10,118.01-	7,118.01-
001-010-460	RETIREMENT	925.00	1,085.79	5,550.00	5,192.26	11,100.00	47.00	357.74	5,907.74
001-010-470	FICA	1,275.00	1,437.13	7,650.00	8,239.50	15,300.00	54.00	589.50-	7,060.50
001-010-480	INSURANCE/HEALTH	1,383.33	1,382.89	8,300.00	8,411.22	16,600.00	51.00	111.22-	8,188.78
001-010-490	SUTA	16.67	0.00	100.00	168.63	200.00	84.00	68.63-	31.37
001-010-491	INSURANCE/WORK COMP	33.33	0.00	200.00	709.19	400.00	177.00	509.19-	309.19-
001-010-507	EQUIPMENT/SMALL	416.67	2,676.14	2,500.00	3,033.14	5,000.00	61.00	533.14-	1,966.86
001-010-510	GAS/OIL	66.67	38.36	400.00	307.73	800.00	38.00	92.27	492.27
001-010-513	SUPPLIES/JANITORIAL	225.00	0.00	1,350.00	617.71	2,700.00	23.00	732.29	2,082.29

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-010-515	SUPPLIES/OFFICE	208.33	585.31	1,250.00	2,012.04	2,500.00	80.00	762.04-	487.96
001-010-516	SUPPLIES/OPERATING	250.00	715.45	1,500.00	5,326.72	3,000.00	178.00	3,826.72-	2,326.72-
001-010-605	COMMUNICATIONS	400.00	289.12	2,400.00	1,284.98	4,800.00	27.00	1,115.02	3,515.02
001-010-608	DUES/MEMBERSHIP/SUBSCRIPT	366.67	0.00	2,200.00	1,155.00	4,400.00	26.00	1,045.00	3,245.00
001-010-612	PROFESSIONAL FEES	10,416.67	10,926.79	62,500.00	60,008.53	125,000.00	48.00	2,491.47	64,991.47
001-010-616	RPR/MAINT PLANT/BLDGS	1,666.67	548.36	10,000.00	2,706.67	20,000.00	14.00	7,293.33	17,293.33
001-010-622	RPR/MAINT VEHICLES	83.33	0.00	500.00	175.42	1,000.00	18.00	324.58	824.58
001-010-630	TRAINING/TRAVEL	125.00	0.00	750.00	435.00	1,500.00	29.00	315.00	1,065.00
001-010-640	MISCELLANEOUS	41.67	0.00	250.00	2.96	500.00	1.00	247.04	497.04
	TOTAL MUNICIPAL COURT	34,525.00	38,628.16	207,150.00	209,319.44	414,300.00	51.00	2,169.44-	204,980.56
001-020-401	SALARIES	42,525.00	38,562.42	255,150.00	233,110.96	510,300.00	46.00	22,039.04	277,189.04
001-020-402	OVERTIME	83.33	0.00	500.00	0.00	1,000.00	0.00	500.00	1,000.00
001-020-460	RETIREMENT	2,883.33	2,103.69	17,300.00	10,175.49	34,600.00	29.00	7,124.51	24,424.51
001-020-470	FICA	3,258.33	2,864.36	19,550.00	17,319.00	39,100.00	44.00	2,231.00	21,781.00
001-020-480	INSURANCE/HEALTH	5,933.33	5,818.78	35,600.00	34,229.71	71,200.00	48.00	1,370.29	36,970.29
001-020-490	SUTA	41.67	0.00	250.00	464.89	500.00	93.00	214.89-	35.11
001-020-491	INSURANCE/WORK COMP	91.67	0.00	550.00	1,858.41	1,100.00	169.00	1,308.41-	758.41-
001-020-507	EQUIPMENT/SMALL	833.33	74.98	5,000.00	912.80	10,000.00	9.00	4,087.20	9,087.20
001-020-510	GAS/OIL	83.33	43.68	500.00	137.11	1,000.00	14.00	362.89	862.89
001-020-513	SUPPLIES/JANITORIAL	41.67	0.00	250.00	0.00	500.00	0.00	250.00	500.00
001-020-515	SUPPLIES/OFFICE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-020-516	SUPPLIES/OPERATING	1,166.67	2,062.17	7,000.00	7,048.51	14,000.00	50.00	48.51-	6,951.49
001-020-605	COMMUNICATIONS	3,333.33	1,732.55	20,000.00	19,399.70	40,000.00	48.00	600.30	20,600.30
001-020-608	DUES/MEMBERSHIP/SUBSCRIPT	8.33	0.00	50.00	100.00	100.00	100.00	50.00-	0.00
001-020-612	PROFESSIONAL FEES	2,083.33	759.75	12,500.00	11,957.59	25,000.00	48.00	542.41	13,042.41
001-020-616	RPR/MAINT PLANT/BLDGS	2,916.67	0.00	17,500.00	30,487.38	35,000.00	87.00	12,987.38-	4,512.62
001-020-618	RPR/MAINT EQUIPMENT	166.67	0.00	1,000.00	650.00	2,000.00	33.00	350.00	1,350.00
001-020-622	RPR/MAINT VEHICLES	83.33	7.18	500.00	324.93	1,000.00	32.00	175.07	675.07
001-020-630	TRAINING/TRAVEL	750.00	0.00	4,500.00	2,689.50	9,000.00	30.00	1,810.50	6,310.50

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-020-635	UTILITIES	1,166.67	1,122.05	7,000.00	4,214.80	14,000.00	30.00	2,785.20	9,785.20
001-020-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL FINANCE DEPT	67,450.00	55,151.61	404,700.00	375,080.78	809,400.00	46.00	29,619.22	434,319.22
001-030-401	SALARIES	89,900.00	85,025.65	539,400.00	517,701.89	1,078,800.00	48.00	21,698.11	561,098.11
001-030-402	OVERTIME	0.00	556.95	0.00	939.71	0.00	100.00	939.71-	939.71-
001-030-460	RETIREMENT	5,870.83	4,928.26	35,225.00	23,127.42	70,450.00	33.00	12,097.58	47,322.58
001-030-470	FICA	6,875.00	6,437.82	41,250.00	39,020.85	82,500.00	47.00	2,229.15	43,479.15
001-030-480	INSURANCE/HEALTH	13,375.00	10,627.37	80,250.00	85,985.46	160,500.00	54.00	5,735.46-	74,514.54
001-030-490	SUTA	100.00	566.13-	600.00	784.07	1,200.00	65.00	184.07-	415.93
001-030-491	INSURANCE/WORK COMP	1,491.67	0.00	8,950.00	3,536.76	17,900.00	20.00	5,413.24	14,363.24
001-030-507	EQUIPMENT/SMALL	4,500.00	9,359.92	27,000.00	18,582.02	54,000.00	34.00	8,417.98	35,417.98
001-030-510	GAS/OIL	1,750.00	2,709.33	10,500.00	12,525.71	21,000.00	60.00	2,025.71-	8,474.29
001-030-513	SUPPLIES/JANITORIAL	183.33	242.89	1,100.00	1,174.92	2,200.00	53.00	74.92-	1,025.08
001-030-515	SUPPLIES/OFFICE	833.33	448.23	5,000.00	2,409.31	10,000.00	24.00	2,590.69	7,590.69
001-030-516	SUPPLIES/OPERATING	4,416.67	5,706.21	26,500.00	20,725.24	53,000.00	39.00	5,774.76	32,274.76
001-030-540	UNIFORMS	483.33	0.00	2,900.00	642.63	5,800.00	11.00	2,257.37	5,157.37
001-030-605	COMMUNICATIONS	3,250.00	4,231.83	19,500.00	13,780.52	39,000.00	35.00	5,719.48	25,219.48
001-030-608	DUES/MEMBERSHIP/SUBS	466.67	0.00	2,800.00	1,444.00	5,600.00	26.00	1,356.00	4,156.00
001-030-612	PROFESSIONAL FEES	34,583.33	40,540.18	207,500.00	121,611.96	415,000.00	29.00	85,888.04	293,388.04
001-030-614	RENTALS	125.00	64.00	750.00	264.00	1,500.00	18.00	486.00	1,236.00
001-030-616	RPR/MAINT PLANT/BLDG	1,666.67	2,212.82	10,000.00	4,735.00	20,000.00	24.00	5,265.00	15,265.00
001-030-618	RPR/MAINT EQUIPMENT	1,000.00	1,115.31	6,000.00	4,466.71	12,000.00	37.00	1,533.29	7,533.29
001-030-620	RPR/MAINT GROUNDS	750.00	0.00	4,500.00	1,666.20	9,000.00	19.00	2,833.80	7,333.80
001-030-622	RPR/MAINT VEHICLES	1,500.00	244.45	9,000.00	6,914.35	18,000.00	38.00	2,085.65	11,085.65
001-030-630	TRAINING/TRAVEL	3,925.00	6,187.74	23,550.00	15,334.70	47,100.00	33.00	8,215.30	31,765.30
001-030-635	UTILITIES	1,083.33	2,162.70	6,500.00	6,211.64	13,000.00	48.00	288.36	6,788.36
001-030-640	MISCELLANEOUS	2,083.33	6,195.00	12,500.00	6,195.00	25,000.00	25.00	6,305.00	18,805.00
001-030-645	AID TO OTHER GOVTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL ENG/ENVIRO DEPT	180,212.50	188,430.53	1,081,275.00	909,780.07	2,162,550.00	42.00	171,494.93	1,252,769.93

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-100-401	SALARIES	260,250.00	238,377.18	1,561,500.00	1,461,162.70	3,123,000.00	47.00	100,337.30	1,661,837.30
001-100-402	OVERTIME	20,833.33	33,452.64	125,000.00	214,155.78	250,000.00	86.00	89,155.78-	35,844.22
001-100-460	RETIREMENT	17,133.33	14,164.92	102,800.00	74,963.73	205,600.00	36.00	27,836.27	130,636.27
001-100-470	FICA	21,500.00	20,435.26	129,000.00	126,008.65	258,000.00	49.00	2,991.35	131,991.35
001-100-480	INSURANCE/HEALTH	43,333.33	39,504.71	260,000.00	239,716.96	520,000.00	46.00	20,283.04	280,283.04
001-100-490	SUTA	275.00	0.00	1,650.00	2,727.21	3,300.00	83.00	1,077.21-	572.79
001-100-491	INSURANCE/WORK COMP	7,600.00	0.00	45,600.00	91,420.36	91,200.00	100.00	45,820.36-	220.36-
001-100-507	EQUIPMENT/SMALL	28,174.58	88,822.13	169,047.50	170,511.51	338,095.00	50.00	1,464.01-	167,583.49
001-100-510	GAS/OIL	10,000.00	11,622.99	60,000.00	61,488.36	120,000.00	51.00	1,488.36-	58,511.64
001-100-513	SUPPLIES/JANITORIAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-100-515	SUPPLIES/OFFICE	1,000.00	258.43	6,000.00	2,487.01	12,000.00	21.00	3,512.99	9,512.99
001-100-516	SUPPLIES/OPERATING	3,916.67	889.63	23,500.00	11,213.23	47,000.00	24.00	12,286.77	35,786.77
001-100-540	UNIFORMS	3,333.33	12,748.99	20,000.00	28,152.59	40,000.00	70.00	8,152.59-	11,847.41
001-100-605	COMMUNICATIONS	5,000.00	10,951.26	30,000.00	50,727.97	60,000.00	85.00	20,727.97-	9,272.03
001-100-608	DUES/MEMBERSHIP/SUBSCRIPT	250.00	0.00	1,500.00	384.35	3,000.00	13.00	1,115.65	2,615.65
001-100-612	PROFESSIONAL FEES	4,583.33	4,478.09	27,500.00	31,483.58	55,000.00	57.00	3,983.58-	23,516.42
001-100-614	RENTALS	1,316.67	1,482.06	7,900.00	7,355.55	15,800.00	47.00	544.45	8,444.45
001-100-616	RPR/MAINT PLANT/BLDGS	4,166.67	1,142.60	25,000.00	8,559.32	50,000.00	17.00	16,440.68	41,440.68
001-100-618	RPR/MAINT EQUIP	916.67	3,110.22	5,500.00	8,635.15	11,000.00	79.00	3,135.15-	2,364.85
001-100-620	RPR/MAINT GROUNDS	583.33	34.71	3,500.00	34.71	7,000.00	0.00	3,465.29	6,965.29
001-100-622	RPR/MAINT VEHICLES	6,666.67	6,832.71	40,000.00	35,168.07	80,000.00	44.00	4,831.93	44,831.93
001-100-630	TRAINING/TRAVEL	4,166.67	2,958.28	25,000.00	19,266.65	50,000.00	39.00	5,733.35	30,733.35
001-100-635	UTILITIES	5,416.67	5,460.37	32,500.00	19,871.71	65,000.00	31.00	12,628.29	45,128.29
001-100-640	MISCELLANEOUS	1,166.67	936.30	7,000.00	6,890.97	14,000.00	49.00	109.03	7,109.03
	TOTAL POLICE DEPT.	451,582.92	497,663.48	2,709,497.50	2,672,386.12	5,418,995.00	49.00	37,111.38	2,746,608.88
001-110-401	SALARIES	28,891.67	26,118.32	173,350.00	178,346.29	346,700.00	51.00	4,996.29-	168,353.71
001-110-402	OVERTIME	2,916.67	3,589.29	17,500.00	25,173.84	35,000.00	72.00	7,673.84-	9,826.16
001-110-460	RETIREMENT	1,958.33	1,741.97	11,750.00	9,379.62	23,500.00	40.00	2,370.38	14,120.38

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-110-470	FICA	2,433.33	2,221.25	14,600.00	15,261.68	29,200.00	52.00	661.68-	13,938.32
001-110-480	INSURANCE/HEALTH	6,466.67	6,099.86	38,800.00	35,537.21	77,600.00	46.00	3,262.79	42,062.79
001-110-490	SUTA	41.67	0.00	250.00	520.00	500.00	104.00	270.00-	20.00-
001-110-491	INSURANCE/WORK COMP	916.67	0.00	5,500.00	0.00	11,000.00	0.00	5,500.00	11,000.00
001-110-507	EQUIPMENT/SMALL	1,550.00	0.00	9,300.00	9,635.40	18,600.00	52.00	335.40-	8,964.60
001-110-510	GAS/OIL	25.00	0.00	150.00	0.00	300.00	0.00	150.00	300.00
001-110-513	SUPPLIES/JANITORIAL	166.67	0.00	1,000.00	1,054.65	2,000.00	53.00	54.65-	945.35
001-110-515	SUPPLIES/OFFICE	33.33	0.00	200.00	230.90	400.00	58.00	30.90-	169.10
001-110-516	SUPPLIES/OPERATING	2,083.33	773.98-	12,500.00	6,387.19	25,000.00	26.00	6,112.81	18,612.81
001-110-540	UNIFORMS	291.67	10.60	1,750.00	201.60	3,500.00	6.00	1,548.40	3,298.40
001-110-605	COMMUNICAITONS	125.00	143.49	750.00	717.15	1,500.00	48.00	32.85	782.85
001-110-608	DUES/MEMBERSHIP/SUBSCRIPT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-110-612	PROFESSIONAL FEES	1,250.00	660.00	7,500.00	1,205.24	15,000.00	8.00	6,294.76	13,794.76
001-110-614	RENTALS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-110-616	RPR/MAINT PLANT/BLDGS	2,462.50	0.00	14,775.00	5,065.06	29,550.00	17.00	9,709.94	24,484.94
001-110-618	RPR/MAINT EQUIPMENT	83.33	98.53	500.00	1,361.18	1,000.00	136.00	861.18-	361.18-
001-110-622	RPR/MAINT VEHICLES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-110-630	TRAINING/TRAVEL	416.67	0.00	2,500.00	129.00	5,000.00	3.00	2,371.00	4,871.00
001-110-640	MISCELLANEOUS	41.67	5.99	250.00	5.99	500.00	1.00	244.01	494.01
	TOTAL CORRECTIONS DEPT	52,154.17	39,915.32	312,925.00	290,212.00	625,850.00	46.00	22,713.00	335,638.00
001-120-401	SALARIES	28,508.33	25,211.47	171,050.00	161,362.80	342,100.00	47.00	9,687.20	180,737.20
001-120-402	OVERTIME	2,666.67	3,670.74	16,000.00	29,235.78	32,000.00	91.00	13,235.78-	2,764.22
001-120-460	RETIREMENT	1,933.33	1,429.54	11,600.00	7,511.84	23,200.00	32.00	4,088.16	15,688.16
001-120-470	FICA	2,383.33	2,132.33	14,300.00	14,115.23	28,600.00	49.00	184.77	14,484.77
001-120-480	INSURANCE/HEALTH	7,141.67	5,035.95	42,850.00	33,414.06	85,700.00	39.00	9,435.94	52,285.94
001-120-490	SUTA	41.67	0.00	250.00	442.86	500.00	89.00	192.86-	57.14
001-120-491	INSURANCE/WORK COMP	54.17	0.00	325.00	0.00	650.00	0.00	325.00	650.00
001-120-507	EQUIPMENT/SMALL	633.33	0.00	3,800.00	1,046.58	7,600.00	14.00	2,753.42	6,553.42
001-120-515	SUPPLIES/OFFICE	45.83	20.93	275.00	254.85	550.00	46.00	20.15	295.15

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-120-516	SUPPLIES/OPERATING	62.50	0.00	375.00	0.00	750.00	0.00	375.00	750.00
001-120-540	UNIFORMS	150.00	0.00	900.00	14.72	1,800.00	1.00	885.28	1,785.28
001-120-605	COMMUNICATIONS	100.00	32.00	600.00	159.85	1,200.00	13.00	440.15	1,040.15
001-120-608	DUES/MEMBERSHIP/SUBSCRIPT	41.67	0.00	250.00	0.00	500.00	0.00	250.00	500.00
001-120-612	PROFESSIONAL FEES	1,250.00	0.00	7,500.00	4,660.40	15,000.00	31.00	2,839.60	10,339.60
001-120-616	RPR/MAINT PLANT/BLDGS	0.00	0.00	0.00	8.44	0.00	100.00	8.44-	8.44-
001-120-618	RPR/MAINT EQUIPMENT	83.33	0.00	500.00	0.00	1,000.00	0.00	500.00	1,000.00
001-120-630	TRAINING/TRAVEL	583.33	0.00	3,500.00	0.00	7,000.00	0.00	3,500.00	7,000.00
001-120-640	MISCELLANEOUS	83.33	0.00	500.00	0.00	1,000.00	0.00	500.00	1,000.00
	TOTAL COMMUNICATIONS DEPT	45,762.50	37,532.96	274,575.00	252,227.41	549,150.00	46.00	22,347.59	296,922.59
001-175-401	SALARIES	252,016.67	251,545.56	1,512,100.00	1,575,183.11	3,024,200.00	52.00	63,083.11-	1,449,016.89
001-175-402	OVERTIME	6,666.67	11,414.04	40,000.00	60,612.73	80,000.00	76.00	20,612.73-	19,387.27
001-175-460	RETIREMENT	15,500.00	14,071.13	93,000.00	71,727.79	186,000.00	39.00	21,272.21	114,272.21
001-175-470	FICA	19,791.67	19,776.31	118,750.00	123,069.85	237,500.00	52.00	4,319.85-	114,430.15
001-175-480	INSURANCE/HEALTH	42,500.00	38,831.74	255,000.00	246,035.34	510,000.00	48.00	8,964.66	263,964.66
001-175-490	SUTA	375.00	0.00	2,250.00	3,057.16	4,500.00	68.00	807.16-	1,442.84
001-175-491	INSURANCE/WORK COMP	7,841.67	0.00	47,050.00	102,499.94	94,100.00	109.00	55,449.94-	8,399.94-
001-175-507	EQUIPMENT/SMALL	7,916.67	8,597.14	47,500.00	38,319.48	95,000.00	40.00	9,180.52	56,680.52
001-175-510	GAS/OIL	3,333.33	3,271.22	20,000.00	16,665.44	40,000.00	42.00	3,334.56	23,334.56
001-175-513	SUPPLIES/JANITORIAL	541.67	251.78	3,250.00	2,838.06	6,500.00	44.00	411.94	3,661.94
001-175-515	SUPPLIES/OFFICE	166.67	0.00	1,000.00	904.14	2,000.00	45.00	95.86	1,095.86
001-175-516	SUPPLIES/OPERATING	3,750.00	6,954.16	22,500.00	22,317.22	45,000.00	50.00	182.78	22,682.78
001-175-540	UNIFORMS	2,145.83	1,411.54	12,875.00	13,387.44	25,750.00	52.00	512.44-	12,362.56
001-175-605	COMMUNICATIONS	2,500.00	4,096.29	15,000.00	30,385.34	30,000.00	101.00	15,385.34-	385.34-
001-175-608	DUES/MEMBERSHIP/SUBSCRIPT	625.00	379.86	3,750.00	1,635.32	7,500.00	22.00	2,114.68	5,864.68
001-175-612	PROFESSIONAL FEES	2,416.67	1,156.01	14,500.00	13,498.30	29,000.00	47.00	1,001.70	15,501.70
001-175-614	RENTALS	600.00	668.69	3,600.00	4,292.66	7,200.00	60.00	692.66-	2,907.34
001-175-616	RPR/MAINT PLANT/BLDGS	3,108.33	8,429.11	18,650.00	22,418.85	37,300.00	60.00	3,768.85-	14,881.15
001-175-618	RPR MAINT/EQUIPMENT	1,716.67	4,324.72	10,300.00	15,777.83	20,600.00	77.00	5,477.83-	4,822.17

## Revenue Expense

001

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-175-622	RPR/MAINT VEHICLES	3,333.33	11,926.54	20,000.00	58,132.37	40,000.00	145.00	38,132.37-	18,132.37-
001-175-630	TRAINING/TRAVEL	2,303.33	776.21	13,820.00	8,873.47	27,640.00	32.00	4,946.53	18,766.53
001-175-635	UTILITIES	4,466.67	6,934.41	26,800.00	22,662.99	53,600.00	42.00	4,137.01	30,937.01
001-175-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-175-645	AID TO OTHER GOVTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL FIRE DEPT	383,615.83	394,816.46	2,301,695.00	2,454,294.83	4,603,390.00	53.00	152,599.83-	2,149,095.17
001-200-401	SALARIES	119,775.00	108,641.31	718,650.00	716,146.35	1,437,300.00	50.00	2,503.65	721,153.65
001-200-402	OVERTIME	4,166.67	3,129.99	25,000.00	22,376.74	50,000.00	45.00	2,623.26	27,623.26
001-200-460	RETIREMENT	8,075.00	6,398.35	48,450.00	32,203.81	96,900.00	33.00	16,246.19	64,696.19
001-200-470	FICA	9,483.33	8,407.80	56,900.00	55,624.72	113,800.00	49.00	1,275.28	58,175.28
001-200-480	INSURANCE/HEALTH	30,166.67	26,630.22	181,000.00	167,773.93	362,000.00	46.00	13,226.07	194,226.07
001-200-490	SUTA	166.67	0.00	1,000.00	1,808.12	2,000.00	90.00	808.12-	191.88
001-200-491	INSURANCE/WORK COMP	7,250.00	0.00	43,500.00	80,545.24	87,000.00	93.00	37,045.24-	6,454.76
001-200-507	EQUIPMENT/SMALL	2,500.00	8,344.00	15,000.00	9,893.92	30,000.00	33.00	5,106.08	20,106.08
001-200-510	GAS/OIL	5,833.33	6,081.71	35,000.00	32,107.07	70,000.00	46.00	2,892.93	37,892.93
001-200-513	SUPPLIES/JANITORIAL	1,666.67	1,518.35	10,000.00	8,078.64	20,000.00	40.00	1,921.36	11,921.36
001-200-515	SUPPLIES/OFFICE	100.00	52.41	600.00	436.56	1,200.00	36.00	163.44	763.44
001-200-516	SUPPLIES/OPERATING	6,000.00	6,991.69	36,000.00	26,434.43	72,000.00	37.00	9,565.57	45,565.57
001-200-540	UNIFORMS	833.33	4,352.44	5,000.00	4,823.84	10,000.00	48.00	176.16	5,176.16
001-200-605	COMMUNICATIONS	1,458.33	2,629.24	8,750.00	9,214.86	17,500.00	53.00	464.86-	8,285.14
001-200-612	PROFESSIONAL FEES	12,500.00	4,445.42	75,000.00	52,357.89	150,000.00	35.00	22,642.11	97,642.11
001-200-614	RENTALS	833.33	168.68	5,000.00	1,175.92	10,000.00	12.00	3,824.08	8,824.08
001-200-616	RPR/MAINT PLANT/BLDGS	2,916.67	4,667.76	17,500.00	15,500.18	35,000.00	44.00	1,999.82	19,499.82
001-200-618	RPR/MAINT EQUIPMENT	3,833.33	3,121.91	23,000.00	15,066.82	46,000.00	33.00	7,933.18	30,933.18
001-200-620	RPR/MAINT GROUNDS	1,000.00	0.00	6,000.00	6,223.06	12,000.00	52.00	223.06-	5,776.94
001-200-622	RPR/MAINT VEHICLES	3,000.00	3,428.90	18,000.00	17,324.15	36,000.00	48.00	675.85	18,675.85
001-200-630	TRAINING/TRAVEL	250.00	0.00	1,500.00	2,480.72	3,000.00	83.00	980.72-	519.28
001-200-635	UTILITIES	15,416.67	18,825.44	92,500.00	76,392.44	185,000.00	41.00	16,107.56	108,607.56
001-200-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## Revenue Expense

001

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
	TOTAL STREET DEPARTMENT	237,225.00	217,835.62	1,423,350.00	1,353,989.41	2,846,700.00	48.00	69,360.59	1,492,710.59
001-210-401	SALARIES	62,791.67	57,741.50	376,750.00	370,167.96	753,500.00	49.00	6,582.04	383,332.04
001-210-402	OVERTIME	2,916.67	3,922.11	17,500.00	14,118.26	35,000.00	40.00	3,381.74	20,881.74
001-210-460	RETIREMENT	4,258.33	3,621.32	25,550.00	16,699.34	51,100.00	33.00	8,850.66	34,400.66
001-210-470	FICA	5,025.00	4,665.81	30,150.00	29,085.27	60,300.00	48.00	1,064.73	31,214.73
001-210-480	INSURANCE/HEALTH	12,200.00	14,436.99	73,200.00	79,835.94	146,400.00	55.00	6,635.94-	66,564.06
001-210-490	SUTA	100.00	0.00	600.00	1,136.68	1,200.00	95.00	536.68-	63.32
001-210-491	INSURANCE/WORK COMP	4,300.00	0.00	25,800.00	37,853.86	51,600.00	73.00	12,053.86-	13,746.14
001-210-507	EQUIPMENT/SMALL	1,666.67	313.99	10,000.00	10,931.42	20,000.00	55.00	931.42-	9,068.58
001-210-510	GAS/OIL	3,750.00	1,979.54	22,500.00	11,371.95	45,000.00	25.00	11,128.05	33,628.05
001-210-515	SUPPLIES/OFFICE	16.67	0.00	100.00	79.76	200.00	40.00	20.24	120.24
001-210-516	SUPPLIES/OPERATING	5,666.67	3,484.20	34,000.00	36,951.51	68,000.00	54.00	2,951.51-	31,048.49
001-210-540	UNIFORMS	583.33	3,376.50	3,500.00	3,376.50	7,000.00	48.00	123.50	3,623.50
001-210-605	COMMUNICATIONS	733.33	945.26	4,400.00	4,693.03	8,800.00	53.00	293.03-	4,106.97
001-210-612	PROFESSIONAL FEES	11,100.00	6,218.29	66,600.00	24,971.44	133,200.00	19.00	41,628.56	108,228.56
001-210-614	RENTALS	250.00	130.00	1,500.00	1,213.20	3,000.00	40.00	286.80	1,786.80
001-210-616	RPR/MAINT PLANT/BLDG	166.67	0.00	1,000.00	1,114.85	2,000.00	56.00	114.85-	885.15
001-210-618	RPR/MAINT EQUIPMENT	4,166.67	1,627.24	25,000.00	22,691.35	50,000.00	45.00	2,308.65	27,308.65
001-210-620	RPR/MAINT GROUNDS	12,500.00	28,570.10	75,000.00	54,723.73	150,000.00	36.00	20,276.27	95,276.27
001-210-622	RPR/MAINT VEHICLES	1,666.67	1,886.09	10,000.00	10,506.18	20,000.00	53.00	506.18-	9,493.82
001-210-630	TRAINING/TRAVEL	166.67	7.00	1,000.00	643.11	2,000.00	32.00	356.89	1,356.89
001-210-635	UTILITIES	375.00	86.04	2,250.00	631.73	4,500.00	14.00	1,618.27	3,868.27
001-210-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL LANDSCAPE DEPT	134,400.00	133,011.98	806,400.00	732,797.07	1,612,800.00	45.00	73,602.93	880,002.93
001-300-401	SALARIES	97,625.00	93,130.56	585,750.00	480,877.20	1,171,500.00	41.00	104,872.80	690,622.80
001-300-402	OVERTIME	1,666.67	311.44	10,000.00	2,649.97	20,000.00	13.00	7,350.03	17,350.03
001-300-460	RETIREMENT	4,316.67	3,461.71	25,900.00	17,753.16	51,800.00	34.00	8,146.84	34,046.84



## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-300-470	FICA	7,700.00	7,031.87	46,200.00	36,325.27	92,400.00	39.00	9,874.73	56,074.73
001-300-480	INSURANCE/HEALTH	16,158.33	13,748.60	96,950.00	83,443.40	193,900.00	43.00	13,506.60	110,456.60
001-300-490	SUTA	391.67	0.00	2,350.00	1,348.92	4,700.00	29.00	1,001.08	3,351.08
001-300-491	INSURANCE/WORK COMP	3,200.00	0.00	19,200.00	36,319.12	38,400.00	95.00	17,119.12-	2,080.88
001-300-507	EQUIPMENT/SMALL	12,500.00	0.00	75,000.00	32,891.54	150,000.00	22.00	42,108.46	117,108.46
001-300-510	GAS/OIL	779.17	736.45	4,675.00	2,728.22	9,350.00	29.00	1,946.78	6,621.78
001-300-513	SUPPLIES/JANITORIAL	1,750.00	1,007.25	10,500.00	3,528.23	21,000.00	17.00	6,971.77	17,471.77
001-300-515	SUPPLIES/OFFICE	83.33	0.00	500.00	195.52	1,000.00	20.00	304.48	804.48
001-300-516	SUPPLIES/OPERATING	19,166.67	32,983.86	115,000.00	77,984.68	230,000.00	34.00	37,015.32	152,015.32
001-300-540	UNIFORMS	558.33	1,172.45	3,350.00	1,531.90	6,700.00	23.00	1,818.10	5,168.10
001-300-605	COMMUNICATIONS	3,833.33	9,850.37	23,000.00	20,559.70	46,000.00	45.00	2,440.30	25,440.30
001-300-608	DUES/MEMBERSHIP/SUBSCRIPT	133.33	0.00	800.00	435.00	1,600.00	27.00	365.00	1,165.00
001-300-612	PROFESSIONAL FEES	10,204.17	6,120.91	61,225.00	39,005.76	122,450.00	32.00	22,219.24	83,444.24
001-300-614	RENTALS	833.33	817.19	5,000.00	4,079.93	10,000.00	41.00	920.07	5,920.07
001-300-616	RPR/MAINT PLANT/BLDGS	28,333.33	10,327.45	170,000.00	109,842.54	340,000.00	32.00	60,157.46	230,157.46
001-300-618	RPR/MAINT EQUIPMENT	2,916.67	1,629.80	17,500.00	11,314.92	35,000.00	32.00	6,185.08	23,685.08
001-300-620	RPR/MAINT GROUNDS	5,000.00	2,365.25	30,000.00	10,261.26	60,000.00	17.00	19,738.74	49,738.74
001-300-622	RPR/MAINT VEHICLES	1,416.67	598.52-	8,500.00	1,680.66	17,000.00	10.00	6,819.34	15,319.34
001-300-630	TRAINING/TRAVEL	333.33	0.00	2,000.00	0.00	4,000.00	0.00	2,000.00	4,000.00
001-300-635	UTILITIES	26,166.67	29,896.79	157,000.00	96,549.57	314,000.00	31.00	60,450.43	217,450.43
001-300-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-300-650	EXHIBITIONS & PROMOTIONS	6,375.00	2,165.00	38,250.00	19,911.84	76,500.00	26.00	18,338.16	56,588.16
001-300-660	COST OF GOODS SOLD RETAIL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL PARKS & REC	251,441.67	216,158.43	1,508,650.00	1,091,218.31	3,017,300.00	36.00	417,431.69	1,926,081.69
001-350-401	SALARIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-460	RETIREMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-470	FICA	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-480	INSURANCE/HEALTH	0.00	0.00	0.00	436.11	0.00	100.00	436.11-	436.11-
001-350-490	SUTA	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-350-491	INSURANCE/WORK COMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-507	EQUIPMENT/SMALL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-513	SUPPLIES/JANITORIAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-515	SUPPLIES/OFFICE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-516	SUPPLIES/OPERATING	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-605	COMMUNICATIONS	0.00	40.03	0.00	200.07	0.00	100.00	200.07-	200.07-
001-350-608	DUES/MEMBERSHIP/SUBSCRIPT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-612	PROFESSIONAL FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-614	RENTALS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-616	RPR/MAINT PLANT/BLDGS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-620	RPR/MAINT GROUNDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-630	TRAINING/TRAVEL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-635	UTILITIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-350-645	AID TO OTHER GOVTS	52,508.33	49,465.83	315,050.00	346,260.81	630,100.00	55.00	31,210.81-	283,839.19
	TOTAL LIBRARY SERVICES	52,508.33	49,505.86	315,050.00	346,896.99	630,100.00	55.00	31,846.99-	283,203.01
001-410-401	SALARIES	34,571.08	35,689.14	207,426.50	166,221.80	414,853.00	40.00	41,204.70	248,631.20
001-410-402	OVERTIME	0.00	0.00	0.00	10.07	0.00	100.00	10.07-	10.07-
001-410-460	RETIREMENT	185.25	134.52	1,111.50	1,768.05	2,223.00	80.00	656.55-	454.95
001-410-470	FICA	2,644.67	2,728.87	15,868.00	12,708.93	31,736.00	40.00	3,159.07	19,027.07
001-410-480	INSURANCE/HEALTH	833.33	4,120.22	5,000.00	4,123.62	10,000.00	41.00	876.38	5,876.38
001-410-490	SUTA	112.67	566.13	676.00	566.13	1,352.00	42.00	109.87	785.87
001-410-491	INSURANCE/WORK COMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-410-507	EQUIPMENT/SMALL	3,016.67	647.98	18,100.00	6,697.98	36,200.00	19.00	11,402.02	29,502.02
001-410-510	GAS/OIL	2,166.67	0.00	13,000.00	0.00	26,000.00	0.00	13,000.00	26,000.00
001-410-513	SUPPLIES/JANITORIAL	250.00	35.95	1,500.00	233.10	3,000.00	8.00	1,266.90	2,766.90
001-410-515	SUPPLIES/OFFICE	83.33	0.00	500.00	75.02	1,000.00	8.00	424.98	924.98
001-410-516	SUPPLIES/OPERATING	4,000.00	9,195.42	24,000.00	21,763.19	48,000.00	45.00	2,236.81	26,236.81
001-410-540	UNIFORMS	558.33	250.51	3,350.00	1,938.57	6,700.00	29.00	1,411.43	4,761.43

## Revenue Expense

Report Date: 06/30/2017

001

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-410-605	COMMUNICATIONS	266.67	0.00	1,600.00	0.00	3,200.00	0.00	1,600.00	3,200.00
001-410-608	DUES/MEMBERSHIP/SUBSCRIPT	41.67	0.00	250.00	0.00	500.00	0.00	250.00	500.00
001-410-612	PROFESSIONAL FEES	300.00	0.00	1,800.00	1,035.00	3,600.00	29.00	765.00	2,565.00
001-410-614	RENTALS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-410-616	RPR/MAINT PLANT/BLDGS	100.00	174.00	600.00	174.00	1,200.00	15.00	426.00	1,026.00
001-410-618	RPR/MAINT EQUIPMENT	291.67	523.60	1,750.00	2,227.50	3,500.00	64.00	477.50-	1,272.50
001-410-620	RPR/MAINT GROUNDS	1,916.67	0.00	11,500.00	5,618.61	23,000.00	24.00	5,881.39	17,381.39
001-410-622	RPR/MAINT VEHICLES	2,058.33	4,432.63	12,350.00	10,953.09	24,700.00	44.00	1,396.91	13,746.91
001-410-630	TRAINING/TRAVEL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-410-635	UTILITIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-410-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-410-652	CAPITAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL LEAVE ONLY FOOTPRIN	53,397.00	58,498.97	320,382.00	236,114.66	640,764.00	37.00	84,267.34	404,649.34
	TOTAL OPERATING	2,152,574.92	2,591,174.14	12,915,449.50	12,429,059.58	25,830,899.00	48.00	486,389.92	13,401,839.42
	TOT OPER & USE	5,234,417.17	3,295,212.46	31,406,503.00	16,425,309.35	62,813,006.00	26.00	14,981,193.65	46,387,696.65
001-601-730	ADMIN CAPITAL EQUIPMENT	8,625.00	0.00	51,750.00	0.00	103,500.00	0.00	51,750.00	103,500.00
001-601-731	ADMIN CAPITAL PROJECTS	20,833.33	0.00	125,000.00	207,149.17	250,000.00	83.00	82,149.17-	42,850.83
001-602-730	COURT CAPITAL EQUIPMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-603-730	FINANCE CAPITAL EQUIP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-604-710	POLICE STATION CONSTRUCTI	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-604-730	POLICE CAPITAL EQUIPMENT	27,071.83	10,740.00	162,431.00	375,995.69	324,862.00	116.00	213,564.69-	51,133.69-
001-605-730	CORRECTIONS CAPITAL EQUIP	1,000.00	0.00	6,000.00	10,995.00	12,000.00	92.00	4,995.00-	1,005.00
001-606-730	COMMUNICATIONS CAPITAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-607-710	FIRE STATION RENOVATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-607-730	FIRE CAPITAL EQUIPMENT	100,927.17	0.00	605,563.00	970,182.31	1,211,126.00	80.00	364,619.31-	240,943.69

## Revenue Expense

001

Report Date: 06/30/2017

\*-----Month To Date-----\*      \*-----Year to Date-----\*      \*-----Budget-----\*

<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
001-608-720	ROADWAYS/PAVING/RESURFACE	68,083.33	409,029.45	408,500.00	554,892.62	817,000.00	68.00	146,392.62-	262,107.38
001-608-721	BOX CULVERT GRT PJT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-608-730	STREET CAPITAL EQUIPMENT	19,833.33	0.00	119,000.00	116,644.52	238,000.00	49.00	2,355.48	121,355.48
001-608-750	COMMERCE PARK INFRASTRUCT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-608-751	HWY 161/ CANAL BRIDGE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-608-753	REC TRAIL PJT	20,833.33	0.00	125,000.00	0.00	250,000.00	0.00	125,000.00	250,000.00
001-609-711	RECREATION CENTER COMPLEX	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-609-721	SPORTSPLEX	37,500.00	3,991.83	225,000.00	40,697.06	450,000.00	9.00	184,302.94	409,302.94
001-609-725	WATERFRONT PARK	4,166.67	0.00	25,000.00	0.00	50,000.00	0.00	25,000.00	50,000.00
001-609-728	GOLF COURSE	4,250.00	10,611.72	25,500.00	45,632.96	51,000.00	89.00	20,132.96-	5,367.04
001-609-730	P & R CAPITAL EQUIPMENT	6,791.67	35,869.32	40,750.00	35,869.32	81,500.00	44.00	4,880.68	45,630.68
001-609-754	ART CENTER	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-610-730	LIBRARY CAPITAL EQUIP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-611-730	COMM DEV CAPTL EQUIPMENT	8,733.33	0.00	52,400.00	55,098.00	104,800.00	53.00	2,698.00-	49,702.00
001-611-750	NOAA LIVING REEF GRT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-611-751	BEACH BERM	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-611-752	COASTAL FACILITIES	21,666.67	51,227.21	130,000.00	260,802.11	260,000.00	100.00	130,802.11-	802.11-
001-611-753	TAP SIDEWALK CONSTRUCTION	45,833.33	0.00	275,000.00	503.70	550,000.00	0.00	274,496.30	549,496.30
001-612-730	LANDSCAPE CAPITAL EQUIP	16,375.00	0.00	98,250.00	179,709.19	196,500.00	91.00	81,459.19-	16,790.81
001-613-730	ENG/ENVIRO CAPITAL EQUIP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-614-729	BP GRANT PROGRAM	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-614-730	LOF PGM CAPITAL EQUIP	15,291.67	0.00	91,750.00	115,413.75	183,500.00	63.00	23,663.75-	68,086.25
	TOTAL CAP EQ/PJT EXP	427,815.67	521,469.53	2,566,894.00	2,969,585.40	5,133,788.00	58.00	402,691.40-	2,164,202.60
	TOT OPER, CAP & USE	5,662,232.83	3,816,681.99	33,973,397.00	19,394,894.75	67,946,794.00	29.00	14,578,502.25	48,551,899.25
	EXCESS OF REV OVER EXP	0.00	100,055.68	0.00	210,095.42	0.00	100.00	210,095.42-	210,095.42-

Revenue Expense

001

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>

## Revenue Expense

100

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>100</b>	REVENUE								
100-000-284	VEHICLE TAGS	2,083.33	2,276.01	12,500.00	11,598.79	25,000.00	46.00	901.21	13,401.21
100-000-285	VEHICLE TAX	5,416.67	10,520.15	32,500.00	49,083.52	65,000.00	76.00	16,583.52-	15,916.48
100-000-286	STATE PETRO FEE	208.33	214.76	1,250.00	1,244.61	2,500.00	50.00	5.39	1,255.39
100-000-287	STATE 4 CENT TAX	708.33	803.74	4,250.00	4,532.73	8,500.00	53.00	282.73-	3,967.27
100-000-288	STATE 5 CENT TAX	375.00	447.90	2,250.00	2,586.04	4,500.00	57.00	336.04-	1,913.96
100-000-289	STATE 7 CENT TAX	1,250.00	1,386.77	7,500.00	7,814.42	15,000.00	52.00	314.42-	7,185.58
100-000-290	STATE VEHICLE LIC	125.00	141.79	750.00	835.21	1,500.00	56.00	85.21-	664.79
100-000-291	FIRE DEPT TAX	12,500.00	1,230.80	75,000.00	66,364.15	150,000.00	44.00	8,635.85	83,635.85
100-000-292	AL TRUST FUND DIST	4,583.33	0.00	27,500.00	48,511.21	55,000.00	88.00	21,011.21-	6,488.79
100-000-293	CT CORRECTION FUND	8,333.33	0.00	50,000.00	0.00	100,000.00	0.00	50,000.00	100,000.00
100-000-294	JUSTICE ACT FUND	333.33	0.00	2,000.00	0.00	4,000.00	0.00	2,000.00	4,000.00
100-000-295	1% SALES TX FD	230,555.58	444,962.60	1,383,333.50	1,787,896.02	2,766,667.00	65.00	404,562.52-	978,770.98
100-000-296	WETLAND MIT FEE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
100-000-297	CT CLK JUD ADMIN FUND	5,833.33	5,794.55	35,000.00	27,494.01	70,000.00	39.00	7,505.99	42,505.99
100-000-319	INTEREST EARNED	0.00	17.51	0.00	105.71	0.00	100.00	105.71-	105.71-
100-000-325	MISCELLANEOUS INCOME	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	272,305.58	467,796.58	1,633,833.50	2,008,066.42	3,267,667.00	61.00	374,232.92-	1,259,600.58
100-000-359	PRIOR FY FUND BAL FORWARD	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
100-000-360	TSF FROM GEN FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER FIN SOURCES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
100-550-910	TSF TO GF/GAS TX	10,166.67	12,796.16	61,000.00	60,682.31	122,000.00	50.00	317.69	61,317.69
100-550-911	TSF TO GF/FIRE TX	12,500.00	0.00	75,000.00	0.00	150,000.00	0.00	75,000.00	150,000.00
100-550-912	TSF TO GF/CT CORR FD	8,333.33	0.00	50,000.00	0.00	100,000.00	0.00	50,000.00	100,000.00
100-550-913	TSF TO GF/JUSTICE ACCT FD	333.33	0.00	2,000.00	0.00	4,000.00	0.00	2,000.00	4,000.00
100-550-914	TSF TO GF/AL TRUST FD	4,583.33	0.00	27,500.00	48,511.21	55,000.00	88.00	21,011.21-	6,488.79
100-550-915	MISC EXP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## Revenue Expense

100

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
100-550-916	TSF TO DSF/1%S TX	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
100-550-917	TSF TO GF/1%S TX	230,555.58	444,962.60	1,383,333.50	1,787,896.02	2,766,667.00	65.00	404,562.52-	978,770.98
100-550-918	TSF TO GF/CCJAF	5,833.33	5,794.55	35,000.00	27,494.01	70,000.00	39.00	7,505.99	42,505.99
	TOTAL EXPENDITURES	272,305.58	463,553.31	1,633,833.50	1,924,583.55	3,267,667.00	59.00	290,750.05-	1,343,083.45
	EXCESS OF REV EVER EXPEND	0.00	4,243.27-	0.00	83,482.87-	0.00	100.00	83,482.87	83,482.87

## Revenue Expense

Report Date: 06/30/2017

200

<u>Account</u>	<u>Name</u>	*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
		<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>200</b>	REVENUES								
200-000-319	INTEREST EARNED	166.67	2,195.37	1,000.00	5,644.30	2,000.00	282.00	4,644.30-	3,644.30-
	TOTAL REVENUES	166.67	2,195.37	1,000.00	5,644.30	2,000.00	282.00	4,644.30-	3,644.30-
200-000-357	PROCEEDS GEN L/T DEBT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-000-359	PRIOR FY FUND BAL FORWARD	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-000-364	TSF FROM GENERAL FUND	408,240.00	411,289.57	2,449,440.00	2,465,616.62	4,898,880.00	50.00	16,176.62-	2,433,263.38
200-000-365	TSF FROM SEWER FUND	68,926.67	71,178.76	413,560.00	427,072.56	827,120.00	52.00	13,512.56-	400,047.44
	TOTAL OTHER FIN SOURCES	477,166.67	482,468.33	2,863,000.00	2,892,689.18	5,726,000.00	51.00	29,689.18-	2,833,310.82
200-000-806	TRANSFER TO GENERAL FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-000-905	TRANSFER TO SEWER FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER USE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-821	'05 GO WARR/PRIN	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-822	'05 GO WARR/INT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-823	'07A GO WARR/PRIN	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-824	'07A GO WARR/INT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-829	'99 SERIES GO WARR/PRIN	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-830	'99 SERIES GO WARR/INT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-831	'07B GO WARR/PRIN	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-832	'07B GO WARR/INT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-833	'01B GO WARR/PRINCIPAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-834	'01B GO WARR/INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-837	'09 GO WARR/PRINCIPAL	133,333.33	0.00	800,000.00	0.00	1,600,000.00	0.00	800,000.00	1,600,000.00
200-450-838	'09 GO WARR/INTEREST	18,110.83	0.00	108,665.00	108,665.00	217,330.00	50.00	0.00	108,665.00
200-450-839	OTHER EXPENDITURES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-840	TRUSTEE FEES	808.33	0.00	4,850.00	1,632.00	9,700.00	17.00	3,218.00	8,068.00



## Revenue Expense

200

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
200-450-841	BOND ISSUE DISCOUNT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-842	BOND ISSUE PREMIUM	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-843	BOND ISSUE COSTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-844	VISION NOTE/PRINCIPAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-845	VISION NOTE/INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-846	'10A WARR PRIN	98,333.33	0.00	590,000.00	1,180,000.00	1,180,000.00	100.00	590,000.00-	0.00
200-450-847	'10A WARR INT	16,120.00	0.00	96,720.00	108,520.00	193,440.00	56.00	11,800.00-	84,920.00
200-450-848	'10B WARR PRIN	78,750.00	0.00	472,500.00	945,000.00	945,000.00	100.00	472,500.00-	0.00
200-450-849	'10B WARR INT	10,281.25	0.00	61,687.50	68,775.00	123,375.00	56.00	7,087.50-	54,600.00
200-450-850	'12 WARR PRIN	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-851	'12 WARR INT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
200-450-852	'13 WARR PRIN	108,333.33	1,300,000.00	650,000.00	1,300,000.00	1,300,000.00	100.00	650,000.00-	0.00
200-450-853	'13 WARR INT	13,520.83	87,625.00	81,125.00	87,625.00	162,250.00	54.00	6,500.00-	74,625.00
	TOTAL EXPENDITURES	477,591.25	1,387,625.00	2,865,547.50	3,800,217.00	5,731,095.00	66.00	934,669.50-	1,930,878.00
	EXCESS OF REV OVER EXPEND	257.92	902,961.30	1,547.50	901,883.52	3,095.00	29,140.00	900,336.02-	898,788.52-

## Revenue Expense

Report Date: 06/30/2017

403

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>403</b>	REVENUES								
403-000-275	SEWER SERVICE FEES	540,833.33	545,319.43	3,245,000.00	3,287,438.58	6,490,000.00	51.00	42,438.58-	3,202,561.42
403-000-276	SEWER TAP FEES	6,000.00	21,385.10	36,000.00	188,728.79	72,000.00	262.00	152,728.79-	116,728.79-
403-000-277	INSPECTION FEES	83.33	0.00	500.00	0.00	1,000.00	0.00	500.00	1,000.00
403-000-278	GARBAGE SVC FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-279	GRINDER PUMP FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-319	INTEREST EARNED	333.33	968.26	2,000.00	4,436.90	4,000.00	111.00	2,436.90-	436.90-
403-000-325	MISCELLANEOUS INCOME	2,916.67	3,755.47	17,500.00	23,289.18	35,000.00	67.00	5,789.18-	11,710.82
403-000-340	SURPLUS PROCEEDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	550,166.67	571,428.26	3,301,000.00	3,503,893.45	6,602,000.00	53.00	202,893.45-	3,098,106.55
403-000-355	PROCEEDS INS CLAIMS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-357	BOND ISSUE PROCEEDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-359	PRIOR FY FUND BAL/FORWARD	967,500.00	0.00	5,805,000.00	0.00	11,610,000.00	0.00	5,805,000.00	11,610,000.00
403-000-360	TSF FROM CAPITAL FD	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-362	TSF FROM DEBT SVC FD	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-364	TSF FROM GEN FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-365	FROM STATE OF AL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER SOURCES	967,500.00	0.00	5,805,000.00	0.00	11,610,000.00	0.00	5,805,000.00	11,610,000.00
	TOT REV & SRC	1,517,666.67	571,428.26	9,106,000.00	3,503,893.45	18,212,000.00	19.00	5,602,106.55	14,708,106.55
403-000-802	AMORTIZATION BOND ISS DIS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-805	TRANSFERS TO DEBT SVC FUN	126,416.67	212,298.55	758,500.00	1,273,620.47	1,517,000.00	84.00	515,120.47-	243,379.53
403-000-806	TRANSFER TO GENERAL FUND	57,916.67	0.00	347,500.00	695,000.00	695,000.00	100.00	347,500.00-	0.00
403-000-830	BOND INTEREST EXP	82,502.58	0.00	495,015.50	463,193.75	990,031.00	47.00	31,821.75	526,837.25
403-000-840	TRUSTEE FEES BONDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-000-901	TRANSFER TO REFUSE FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## Revenue Expense

403

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
403-000-902	NAT'L DIASTER FUND RES	550,833.33	0.00	3,305,000.00	0.00	6,610,000.00	0.00	3,305,000.00	6,610,000.00
	TOTAL OTHER FIN. USES	817,669.25	212,298.55	4,906,015.50	2,431,814.22	9,812,031.00	25.00	2,474,201.28	7,380,216.78
403-676-401	SALARIES	87,841.67	79,538.09	527,050.00	508,345.45	1,054,100.00	48.00	18,704.55	545,754.55
403-676-402	OVERTIME	2,916.67	5,382.55	17,500.00	18,869.17	35,000.00	54.00	1,369.17-	16,130.83
403-676-460	RETIREMENT	5,958.33	4,685.26	35,750.00	24,388.76	71,500.00	34.00	11,361.24	47,111.24
403-676-470	FICA	6,908.33	6,379.43	41,450.00	39,637.70	82,900.00	48.00	1,812.30	43,262.30
403-676-480	INSURANCE/HEALTH	15,766.67	15,696.88	94,600.00	93,178.03	189,200.00	49.00	1,421.97	96,021.97
403-676-490	SUTA	91.67	0.00	550.00	1,040.00	1,100.00	95.00	490.00-	60.00
403-676-491	INSURANCE/WORK COMP	1,691.67	0.00	10,150.00	24,309.44	20,300.00	120.00	14,159.44-	4,009.44-
403-676-507	EQUIPMENT/SMALL	416.67	0.00	2,500.00	4,462.56	5,000.00	89.00	1,962.56-	537.44
403-676-510	GAS/OIL	2,916.67	1,940.61	17,500.00	10,621.32	35,000.00	30.00	6,878.68	24,378.68
403-676-515	SUPPLIES/OFFICE	416.67	51.84	2,500.00	1,654.01	5,000.00	33.00	845.99	3,345.99
403-676-516	SUPPLIES/OPERATING	7,916.67	9,033.09	47,500.00	48,785.76	95,000.00	51.00	1,285.76-	46,214.24
403-676-540	UNIFORMS	416.67	0.00	2,500.00	1,188.41	5,000.00	24.00	1,311.59	3,811.59
403-676-605	COMMUNICATIONS	3,000.00	2,535.80	18,000.00	11,613.04	36,000.00	32.00	6,386.96	24,386.96
403-676-610	INSURANCE/ PTY & LIAB	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-676-612	PROFESSIONAL FEES	2,500.00	343.92	15,000.00	8,456.73	30,000.00	28.00	6,543.27	21,543.27
403-676-614	RENTALS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-676-616	RPR/MAINT PLANT/BLDGS	11,666.67	8,721.24	70,000.00	67,146.04	140,000.00	48.00	2,853.96	72,853.96
403-676-622	RPR/MAINT VEHICLES	3,333.33	625.80	20,000.00	16,724.99	40,000.00	42.00	3,275.01	23,275.01
403-676-630	TRAINING/TRAVEL	583.33	438.00	3,500.00	902.00	7,000.00	13.00	2,598.00	6,098.00
403-676-635	UTILITIES	60,416.67	53,240.56	362,500.00	276,182.53	725,000.00	38.00	86,317.47	448,817.47
403-676-655	BAD DEBTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOT OPERATING EXP	214,758.33	188,613.07	1,288,550.00	1,157,505.94	2,577,100.00	45.00	131,044.06	1,419,594.06
403-676-710	PLANT UPGRADES	20,833.33	13,580.02	125,000.00	108,886.80	250,000.00	44.00	16,113.20	141,113.20
403-676-720	GROUND'S UPGRADE	100,000.00	95,919.22	600,000.00	369,567.04	1,200,000.00	31.00	230,432.96	830,432.96
403-676-730	CAPITAL EQUIPMENT	4,583.33	0.00	27,500.00	53,336.18	55,000.00	97.00	25,836.18-	1,663.82

## Revenue Expense

Report Date: 06/30/2017

403

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
403-676-731	GRINDER PUMPS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
403-676-799	DEPRECIATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAP EXP	125,416.67	109,499.24	752,500.00	531,790.02	1,505,000.00	35.00	220,709.98	973,209.98
403-676-802	AMORTIZATION BOND ISS DIS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOT EXP & USE	1,157,844.25	510,410.86	6,947,065.50	4,121,110.18	13,894,131.00	30.00	2,825,955.32	9,773,020.82
	EXCESS OF REV OVER EXPENS	359,822.42-	61,017.40-	2,158,934.50-	617,216.73	4,317,869.00-	14.00-	2,776,151.23-	4,935,085.73-

## Revenue Expense

Report Date: 06/30/2017

404

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>404</b>	REVENUE								
404-000-280	GARBAGE SVC FEES	210,833.33	209,806.11	1,265,000.00	1,260,748.80	2,530,000.00	50.00	4,251.20	1,269,251.20
404-000-319	INTEREST EARNED	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
404-000-325	MISCELLANEOUS INCOME	416.67	2,610.49	2,500.00	5,670.09	5,000.00	113.00	3,170.09-	670.09-
404-000-340	SURPLUS PROCEEDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	211,250.00	212,416.60	1,267,500.00	1,266,418.89	2,535,000.00	50.00	1,081.11	1,268,581.11
404-000-364	TRANSFER FROM SEWER	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER SOURCES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOT REV & SRC	211,250.00	212,416.60	1,267,500.00	1,266,418.89	2,535,000.00	50.00	1,081.11	1,268,581.11
404-677-401	SALARIES	26,316.67	23,761.14	157,900.00	157,337.00	315,800.00	50.00	563.00	158,463.00
404-677-402	OVERTIME	541.67	1,738.32	3,250.00	5,787.81	6,500.00	89.00	2,537.81-	712.19
404-677-460	RETIREMENT	1,783.33	1,330.92	10,700.00	7,056.11	21,400.00	33.00	3,643.89	14,343.89
404-677-470	FICA	2,050.00	1,898.93	12,300.00	12,160.97	24,600.00	49.00	139.03	12,439.03
404-677-480	INSURANCE/HEALTH	7,041.67	6,089.70	42,250.00	39,385.75	84,500.00	47.00	2,864.25	45,114.25
404-677-490	SUTA	41.67	0.00	250.00	514.53	500.00	103.00	264.53-	14.53-
404-677-491	INSURANCE/WORK COMP	1,608.33	0.00	9,650.00	11,796.74	19,300.00	61.00	2,146.74-	7,503.26
404-677-507	EQUIPMENT/SMALL	166.67	0.00	1,000.00	544.98	2,000.00	27.00	455.02	1,455.02
404-677-510	GAS/OIL	4,583.33	1,873.98	27,500.00	13,075.35	55,000.00	24.00	14,424.65	41,924.65
404-677-515	SUPPLIES/OFFICE	25.00	0.00	150.00	93.40	300.00	31.00	56.60	206.60
404-677-516	SUPPLIES/OPERATING	583.33	717.75	3,500.00	4,430.80	7,000.00	63.00	930.80-	2,569.20
404-677-540	UNIFORMS	250.00	1,200.65	1,500.00	1,200.65	3,000.00	40.00	299.35	1,799.35
404-677-605	COMMUNICATIONS	283.33	341.94	1,700.00	3,028.43	3,400.00	89.00	1,328.43-	371.57
404-677-612	PROFESSIONAL FEES	157,166.67	156,774.74	943,000.00	786,359.00	1,886,000.00	42.00	156,641.00	1,099,641.00
404-677-614	RENTALS	166.67	0.00	1,000.00	0.00	2,000.00	0.00	1,000.00	2,000.00
404-677-618	RPR/MAINT EQUIPMENT	2,500.00	1,863.84	15,000.00	11,358.56	30,000.00	38.00	3,641.44	18,641.44

## Revenue Expense

Report Date: 06/30/2017

404

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
404-677-622	RPR/MAINT VEHICLES	2,916.67	5,404.07	17,500.00	21,105.97	35,000.00	60.00	3,605.97-	13,894.03
404-677-630	TRAINING/TRAVEL	166.67	682.65	1,000.00	762.75	2,000.00	38.00	237.25	1,237.25
404-677-635	UTILITIES	183.33	51.09	1,100.00	255.45	2,200.00	12.00	844.55	1,944.55
404-677-655	BAD DEBT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSE	208,375.00	203,729.72	1,250,250.00	1,076,254.25	2,500,500.00	43.00	173,995.75	1,424,245.75
404-677-720	CAPITAL PROJECTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
404-677-730	CAPITAL EQUIPMENT	22,083.33	0.00	132,500.00	150,900.94	265,000.00	57.00	18,400.94-	114,099.06
404-677-799	DEPRECIATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAPITAL EXP	22,083.33	0.00	132,500.00	150,900.94	265,000.00	57.00	18,400.94-	114,099.06
	TOTAL OPER & CAP EXPENSE	230,458.33	203,729.72	1,382,750.00	1,227,155.19	2,765,500.00	44.00	155,594.81	1,538,344.81
	EXCESS REV OVER EXP	19,208.33	8,686.88-	115,250.00	39,263.70-	230,500.00	17.00-	154,513.70	269,763.70

## Revenue Expense

Report Date: 06/30/2017

411

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>411</b>	REVENUES								
411-000-275	RENTAL FEES	14,166.67	12,050.00	85,000.00	105,488.00	170,000.00	62.00	20,488.00-	64,512.00
411-000-276	USAGE FEES	1,333.33	365.00	8,000.00	16,548.00	16,000.00	103.00	8,548.00-	548.00-
411-000-277	CONSIGNMENT FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-000-316	DONATIONS	0.00	0.00	0.00	800.00	0.00	100.00	800.00-	800.00-
411-000-319	INTEREST EARNED	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-000-325	MISCELLANEOUS INCOME	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	15,500.00	12,415.00	93,000.00	122,836.00	186,000.00	66.00	29,836.00-	63,164.00
411-000-359	PRIOR YR FUND BAL FWRD	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-000-364	TSF FROM GEN FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER SOURCES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOT REV & SRC	15,500.00	12,415.00	93,000.00	122,836.00	186,000.00	66.00	29,836.00-	63,164.00
411-000-806	TSF TO GEN FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER FIN USES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-681-401	SALARIES	12,400.00	12,279.36	74,400.00	79,562.74	148,800.00	53.00	5,162.74-	69,237.26
411-681-402	OVERTIME	625.00	247.00	3,750.00	7,494.78	7,500.00	100.00	3,744.78-	5.22
411-681-460	RETIREMENT	708.33	632.02	4,250.00	3,176.42	8,500.00	37.00	1,073.58	5,323.58
411-681-470	FICA	1,050.00	919.09	6,300.00	6,438.35	12,600.00	51.00	138.35-	6,161.65
411-681-480	INSURANCE/HEALTH	3,333.33	2,566.14	20,000.00	15,106.98	40,000.00	38.00	4,893.02	24,893.02
411-681-490	SUTA	25.00	0.00	150.00	215.43	300.00	72.00	65.43-	84.57
411-681-491	INSURANCE/WORK COMP	291.67	0.00	1,750.00	0.00	3,500.00	0.00	1,750.00	3,500.00
411-681-507	EQUIPMENT/SMALL	4,166.67	0.00	25,000.00	714.98	50,000.00	1.00	24,285.02	49,285.02
411-681-510	GAS/OIL	250.00	327.40	1,500.00	1,578.72	3,000.00	53.00	78.72-	1,421.28

## Revenue Expense

Report Date: 06/30/2017

411

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
411-681-513	SUPPLIES/JANITORIAL	541.67	578.20	3,250.00	2,296.72	6,500.00	35.00	953.28	4,203.28
411-681-515	SUPPLIES/OFFICE	83.33	39.76	500.00	219.71	1,000.00	22.00	280.29	780.29
411-681-516	SUPPLIES/OPERATING	1,250.00	1,553.03	7,500.00	8,137.35	15,000.00	54.00	637.35-	6,862.65
411-681-540	UNIFORMS	83.33	500.45	500.00	500.45	1,000.00	50.00	0.45-	499.55
411-681-605	COMMUNICATIONS	541.67	3,028.98	3,250.00	4,242.46	6,500.00	65.00	992.46-	2,257.54
411-681-608	DUES/MBRSHIPS/SUBSCRIPTIO	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-681-610	INSURANCE/PTY & LIAB	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-681-612	PROFESSIONAL FEES	1,083.33	622.75	6,500.00	2,798.75	13,000.00	22.00	3,701.25	10,201.25
411-681-614	RENTALS	300.00	0.00	1,800.00	1,166.25	3,600.00	32.00	633.75	2,433.75
411-681-616	RPR/MAINT BUILDING	2,500.00	2,807.26	15,000.00	13,990.81	30,000.00	47.00	1,009.19	16,009.19
411-681-618	RPR/MAINT EQUIPMENT	500.00	1,708.82	3,000.00	1,999.41	6,000.00	33.00	1,000.59	4,000.59
411-681-620	RPR/MAINT GROUNDS	333.33	50.00	2,000.00	200.00	4,000.00	5.00	1,800.00	3,800.00
411-681-622	RPR/MAINT VEHICLES	416.67	309.17	2,500.00	2,634.85	5,000.00	53.00	134.85-	2,365.15
411-681-630	TRAINING/TRAVEL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-681-635	UTILITIES	3,750.00	6,376.54	22,500.00	15,341.06	45,000.00	34.00	7,158.94	29,658.94
411-681-650	EXHIBITS & PROMOTIONS	833.33	0.00	5,000.00	0.00	10,000.00	0.00	5,000.00	10,000.00
	TOT OPERATING EXP	35,066.67	34,545.97	210,400.00	167,816.22	420,800.00	40.00	42,583.78	252,983.78
411-681-710	BUILDING UPGRADES	10,416.67	84,893.00	62,500.00	85,877.00	125,000.00	69.00	23,377.00-	39,123.00
411-681-720	GROUNDS UPGRADES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-681-730	CAPITAL EQUIPMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
411-681-799	DEPRECIATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAP EXP	10,416.67	84,893.00	62,500.00	85,877.00	125,000.00	69.00	23,377.00-	39,123.00
	TOT EXP & USE	45,483.33	119,438.97	272,900.00	253,693.22	545,800.00	46.00	19,206.78	292,106.78
	EXCESS OF REV OVER EXP	29,983.33	107,023.97	179,900.00	130,857.22	359,800.00	36.00	49,042.78	228,942.78



Revenue Expense

411

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>

## Revenue Expense

422

Report Date: 06/30/2017

<u>Account</u>	<u>Name</u>	*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
		<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>422</b>	REVENUE								
422-000-281	SALES REVENUE	12,500.00	1,018.99	75,000.00	48,259.16	150,000.00	32.00	26,740.84	101,740.84
422-000-282	SALES TAX	1,250.00	101.85	7,500.00	4,824.31	15,000.00	32.00	2,675.69	10,175.69
422-000-283	MACHINE RENTAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
422-000-319	INTEREST EARNED	0.00	1.60	0.00	17.74	0.00	100.00	17.74-	17.74-
422-000-325	MISCELLANEOUS INCOME	0.00	10.00-	0.00	10.00	0.00	100.00	10.00-	10.00-
	TOTAL REVENUE	13,750.00	1,112.44	82,500.00	53,111.21	165,000.00	32.00	29,388.79	111,888.79
422-678-660	INVENTORY FOR RESALE	3,333.33	2,530.91	20,000.00	5,948.97	40,000.00	15.00	14,051.03	34,051.03
422-678-661	SALES TAX PAID	1,166.67	156.76	7,000.00	3,873.54	14,000.00	28.00	3,126.46	10,126.46
	TOTAL OPERATING EXPENSES	4,500.00	2,687.67	27,000.00	9,822.51	54,000.00	18.00	17,177.49	44,177.49
422-678-730	TSF TO GEN FUND	0.00	50,000.00	0.00	50,000.00	0.00	100.00	50,000.00-	50,000.00-
	TOTAL CAPITAL EXPENDITURE	0.00	50,000.00	0.00	50,000.00	0.00	100.00	50,000.00-	50,000.00-
	TOTAL OPER & CAP EXPENSES	4,500.00	52,687.67	27,000.00	59,822.51	54,000.00	111.00	32,822.51-	5,822.51-
	EXCESS REV OVER EXP	9,250.00-	51,575.23	55,500.00-	6,711.30	111,000.00-	6.00-	62,211.30-	117,711.30-

## Revenue Expense

425

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>425</b>	REVENUE								
425-000-284	DRAW PROCEEDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
425-000-285	SERVICE FEES	83,333.33	219,804.00	500,000.00	520,068.30	1,000,000.00	52.00	20,068.30-	479,931.70
425-000-319	INTEREST EARNED	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
425-000-325	BP CLAIMS REVENUE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	83,333.33	219,804.00	500,000.00	520,068.30	1,000,000.00	52.00	20,068.30-	479,931.70
425-679-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
425-679-830	INTEREST EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
425-679-831	PRINCIPAL EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
425-679-832	TSF TO GEN FUND	83,333.33	219,804.00	500,000.00	520,068.30	1,000,000.00	52.00	20,068.30-	479,931.70
	TOTAL OPERATING EXP	83,333.33	219,804.00	500,000.00	520,068.30	1,000,000.00	52.00	20,068.30-	479,931.70
	EXCESS REV OVER EXP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

## Revenue Expense

Report Date: 06/30/2017

428

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>428</b>	REVENUE								
428-000-249	COB ALLOCATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-000-250	OPERATING REVENUES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-000-255	GRANTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-000-316	DONATIONS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-000-319	INTEREST INCOME	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-000-365	TSF FROM GEN FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-401	SALARIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-460	RETIREMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-470	FICA	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-480	INSURANCE/HEALTH	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-491	INSURANCE/WORK COMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-507	EQUIPMENT SMALL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-513	SUPPLIES/JANITORIAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-515	SUPPLIES/OFFICE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-516	OPERTATING SUPPLIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-605	COMMUNICATIONS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-608	DUES/MBRSHIP/SUSCRIPT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-612	PROFESSIONAL FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-614	RENTALS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-616	RPR/MAINT PLANT/BLDG	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-630	TRAVEL TRAINING	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-635	UTILITIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
428-680-640	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OPERATING EXPENSES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	EXCESS REV OVER EXP	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Revenue Expense

428

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>

## Revenue Expense

430

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
<b>430</b>	REVENUES								
430-000-275	RENTAL FEES	2,166.67	2,450.00	13,000.00	16,232.00	26,000.00	62.00	3,232.00-	9,768.00
430-000-281	SALES REVENUE	6,250.00	5,459.50	37,500.00	43,927.00	75,000.00	59.00	6,427.00-	31,073.00
430-000-282	SALES TAX	625.00	545.95	3,750.00	4,392.73	7,500.00	59.00	642.73-	3,107.27
430-000-285	AL COUN ARTS GRANT	125.00	0.00	750.00	4,300.00	1,500.00	287.00	3,550.00-	2,800.00-
430-000-316	GIFTS	0.00	0.00	0.00	13,812.00	0.00	100.00	13,812.00-	13,812.00-
430-000-319	INTEREST EARNED	0.00	2.34	0.00	21.03	0.00	100.00	21.03-	21.03-
430-000-325	MISCELLANEOUS INCOME	83.33	112.00	500.00	539.10	1,000.00	54.00	39.10-	460.90
430-000-332	LESSONS	4,166.67	6,593.75	25,000.00	29,339.25	50,000.00	59.00	4,339.25-	20,660.75
430-000-334	PROGRAMS	2,083.33	1,000.00	12,500.00	5,420.00	25,000.00	22.00	7,080.00	19,580.00
430-000-335	FESTIVALS REVENUE	2,083.33	0.00	12,500.00	17,422.00	25,000.00	70.00	4,922.00-	7,578.00
430-000-340	SURPLUS PROCEEDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL REVENUE	17,583.33	16,163.54	105,500.00	135,405.11	211,000.00	64.00	29,905.11-	75,594.89
430-000-359	PRIOR FY FUND BAL FORWARD	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
430-000-364	TSF FROM GEN FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER SOURCES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOT REV & SRC	17,583.33	16,163.54	105,500.00	135,405.11	211,000.00	64.00	29,905.11-	75,594.89
430-000-806	TSF TO GENERAL FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL OTHER FIN USES	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
430-682-401	SALARIES	21,091.67	18,392.52	126,550.00	112,108.33	253,100.00	44.00	14,441.67	140,991.67
430-682-402	OVERTIME	250.00	247.29	1,500.00	2,349.94	3,000.00	78.00	849.94-	650.06
430-682-460	RETIREMENT	1,316.67	699.74	7,900.00	3,391.54	15,800.00	21.00	4,508.46	12,408.46
430-682-470	FICA	1,633.33	1,335.74	9,800.00	8,222.70	19,600.00	42.00	1,577.30	11,377.30

## Revenue Expense

Report Date: 06/30/2017

430

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>
430-682-480	INSURANCE/HEALTH	4,333.33	4,738.73	26,000.00	27,659.54	52,000.00	53.00	1,659.54-	24,340.46
430-682-490	SUTA	33.33	0.00	200.00	338.25	400.00	85.00	138.25-	61.75
430-682-491	INSURANCE/WORK COMP	641.67	0.00	3,850.00	0.00	7,700.00	0.00	3,850.00	7,700.00
430-682-507	EQUIPMENT/SMALL	5,416.67	1,465.99	32,500.00	5,048.95	65,000.00	8.00	27,451.05	59,951.05
430-682-510	GAS/OIL	20.83	0.00	125.00	51.71	250.00	21.00	73.29	198.29
430-682-513	SUPPLIES/JANITORIAL	62.50	65.00	375.00	101.50	750.00	14.00	273.50	648.50
430-682-515	SUPPLIES/OFFICE	91.67	105.30	550.00	491.51	1,100.00	45.00	58.49	608.49
430-682-516	SUPPLIES/OPERATING	1,000.00	1,126.69	6,000.00	4,402.82	12,000.00	37.00	1,597.18	7,597.18
430-682-605	COMMUNICATIONS	833.33	2,587.56	5,000.00	7,977.03	10,000.00	80.00	2,977.03-	2,022.97
430-682-612	PROFESSIONAL FEES	833.33	1,488.00	5,000.00	3,232.74	10,000.00	32.00	1,767.26	6,767.26
430-682-614	RENTALS	300.00	495.77	1,800.00	2,310.78	3,600.00	64.00	510.78-	1,289.22
430-682-616	RPR/MAINT PLANT/BLDGS	291.67	27.60	1,750.00	593.13	3,500.00	17.00	1,156.87	2,906.87
430-682-618	RPR/MAINT EQUIPMENT	450.00	0.00	2,700.00	284.65	5,400.00	5.00	2,415.35	5,115.35
430-682-620	RPR/MAINT GROUNDS	0.00	422.01	0.00	1,322.01	0.00	100.00	1,322.01-	1,322.01-
430-682-622	RPR/MAINT VEHICLES	0.00	0.00	0.00	87.33	0.00	100.00	87.33-	87.33-
430-682-630	TRAINING/TRAVEL	216.67	0.00	1,300.00	1,506.17	2,600.00	58.00	206.17-	1,093.83
430-682-635	UTILITIES	2,500.00	3,471.00	15,000.00	11,243.16	30,000.00	37.00	3,756.84	18,756.84
430-682-649	FESTIVALS EXPENSES	2,333.33	0.00	14,000.00	24,923.01	28,000.00	89.00	10,923.01-	3,076.99
430-682-650	EXHIBITIONS & PROMOTIONS	1,500.00	2,267.35	9,000.00	8,015.43	18,000.00	45.00	984.57	9,984.57
430-682-659	RESALE INV/CENTER	1,195.83	1,526.00	7,175.00	6,034.74	14,350.00	42.00	1,140.26	8,315.26
430-682-660	RESALE INV/ARTISTS	2,916.67	4,928.64	17,500.00	16,028.10	35,000.00	46.00	1,471.90	18,971.90
430-682-661	SALES TAX PAID	583.33	651.13	3,500.00	4,656.69	7,000.00	67.00	1,156.69-	2,343.31
	TOT OPERATING EXP	49,845.83	46,042.06	299,075.00	252,381.76	598,150.00	42.00	46,693.24	345,768.24
430-682-710	PLANT	0.00	40,711.16	0.00	675,221.67	0.00	100.00	675,221.67-	675,221.67-
430-682-720	GROUNDS	0.00	0.00	0.00	28.12	0.00	100.00	28.12-	28.12-
430-682-730	CAPITAL EQUIPMENT	1,666.67	0.00	10,000.00	0.00	20,000.00	0.00	10,000.00	20,000.00
430-682-799	DEPRECIATION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL CAP EXP	1,666.67	40,711.16	10,000.00	675,249.79	20,000.00	3,376.00	665,249.79-	655,249.79-

Revenue Expense

430

Report Date: 06/30/2017

		*-----Month To Date-----*		*-----Year to Date-----*		*-----Budget-----*			
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>

	TOT EXP & USE	51,512.50	86,753.22	309,075.00	927,631.55	618,150.00	150.00	618,556.55-	309,481.55-
--	---------------	-----------	-----------	------------	------------	------------	--------	-------------	-------------

	EXCESS REV OVER EXPENSE	33,929.17	70,589.68	203,575.00	792,226.44	407,150.00	195.00	588,651.44-	385,076.44-
--	-------------------------	-----------	-----------	------------	------------	------------	--------	-------------	-------------



Revenue Expense

430

Report Date: 06/30/2017

		*-----Month To Date-----*	*-----Year to Date-----*		*-----Budget-----*				
<u>Account</u>	<u>Name</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>Actual</u>	<u>Budget</u>	<u>PCT</u>	<u>Over/Under</u>	<u>Balance</u>

OUTSTANDING DEBT			05/31/17
ORD	TYPE	PURPOSE	OUTSTANDING PRINCIPAL
99-461	\$5,390,000 GO Warrants 1998A 3.6%-4.6%	sewer plant expansion	0
99-461	\$2,675,000 GO Warrants 1998B 3.6%-4.6%	Art Ctr, Waterfront Park pty	0
99-478	\$7,000,000 GO Warrants 1999 3.4%-4.75%	Police Stn\$1.5/Rec Ctr\$1.5/ Pub Beach Fac\$1.5/ Bike trails \$750,000 Library \$750,000/bal misc	0
2001-649	\$7,690,000 Sewer Revenue Warrants 2001A 3.7%-4.7%	redeem 93GO purchase of original system/589 acre purchase/misc	0
2001-648	\$5,550,000 GO Warrants 2001B 3%-5.1%	police stn,rec ctr,sportsplex, sr ctr, tennis ctr	0
2002-706	\$2,680,000 GO Warrants 2002 2%-4.6%	sewer upgrades	0
2004-794	\$12,000,000 go Warrants 2004 dated 5/1/04	Baldwin County Bridge Co not actual City borrowing but COUNTS AGAINST DEBT LIMIT	\$0
2089	\$7,500,000 Line of Credit with Vision Bank dated 4/6/04 (borrowed \$8,400,000) 3%	to borrow annual payments to Baldwin County Bridge Co	\$0
	\$25,000,000 August 2004	AIG Baker Wharf Development not actual City borrowing DOES NOT COUNT AGAINST DEBT LIMIT	\$13,333,333
	DUE THIS DATE BASED ON BUSINESS ESCROW / 15YR HALF 2011-2025		
2005-879	\$9,285,000 GO Warrants 2005 dated 2/1/05, principal & interest payable monthly 2.375% to 5% through 2/1/15	beach renourishment SEE SERIES 2010B	\$0
2006-950	\$21,630,000 SEWER REVENUE WARRANTS 2006 dated 2/1/06, interest payable monthly 4% through 1/1/2015, principal & interest payable monthly 4%-5% through 2/1/30	build new plant. Revenue Warrant DOES NOT COUNT AGAINST DEBT LIMIT	\$0
07-093	\$3,450,000 Loan with Vision Bank 5/22/07 maturity 10/15/11, int qtrly 3%	Bay Springs Wolf Bay Bridge landing property	\$0

2007-1009 \$8,240,000 GO Warrants 2007A dated 5/1/07, interest & principal payable monthly 5% through 5/01/15	payback of fund bal depleted by capital purchases of property marina,Magnesen,med arts, comm park,robinson island primarily for reserve fund establishment SEE SERIES 2010A	\$0
2007-1010 \$9,105,000 GO Warrants 2007B dated 5/1/07, interest payable monthly through 5/1/16, principal & interest payable monthly 5%-4% through 5/1/22	payoff Vision loans for Fire Stn & Golf Course & misc capital projects	\$0
2009-1083 \$17,995,000 GO Warrants 2009 dated 4/1/09, interest & principal payable monthly 2.00% to 3.95% through 10/1/21	payoff Series 98A, 98B, 99, 01A, 01B, 02	\$4,775,000
2010-1119 \$6,170,000 GO Warrants 2010A dated 8/1/10, interest payable monthly through 1/2015, interest & principal payable monthly 3.7-4.6% through Jan 2020	refund 2007A reserve establishment taxable warrants	\$3,855,000
2010-1120 \$4,905,000 GO Warrants 2010B dated 8/1/10, interest payable monthly through 1/2015, interest & principal payable monthly 3.00-4.00% through Jan 2020	refund 2005 beach renourishment	\$3,040,000
2012-1157 \$22,975,000 GO Warrants 2012 dated 10/1/12, interest and principal payable monthly 3.00-5.00% through 1/25/2030	refund 2006 Sewer	\$20,585,000
2013-1164 \$9,780,000 GO Warrants 2013 dated 2/1/13, interest and principal payable monthly .55% to 3.00% through 4/2022	refund 2007B	\$6,945,000
\$7,499,930 loan with Centennial Bank dated 1/12/14 2.94% interest 119 monthly installments of \$51,724.03 each balloon 1/12/2024 balance	payoff line of credit balance res 2089 that was borrowing for annual payments to Baldwin County Bridge Co	\$0
TOTAL		<hr/> \$52,533,333
ASSESSED PROPERTY VALUE (NET) \$907,197,140 AT 10/1/16	SEWER GENERAL WHARF TOTAL	\$22,829,250 \$16,370,750 \$13,333,333 \$52,533,333
DEBT LIMIT EQUALS 20% OF NET VALUE: \$181,439,428		





**Baldwin County Bridge Company**

Month	2004 Amount	2005 Amount	2006 Amount	2007 Amount	2008 Amount	2009 Amount	2010 Amount	2011 Amount	2012 Amount	2013 Amount	2014 Amount	2015 Count	2015 Amount	2016 Count	2016 Amount	2017 Count	2017 Amount
January	13,785.50	19,163.80	21,353.30	22,367.10	16,055.50	14,412.70	11,552.40	25,285.47	26,627.16	28,595.28	41,070.00	169,054	50,716.20	191,873	57,561.90	213,192	63,957.60
February	14,621.20	19,295.10	21,511.70	22,006.90	17,038.80	14,617.90	37,221.78	26,424.51	28,556.01	28,954.80	45,445.80	177,208	53,162.40	208,374	62,512.20	230,177	69,053.10
March	22,200.90	25,073.50	29,124.30	26,572.00	22,808.10	19,348.40	37,138.92	39,687.27	42,770.28	45,105.27	70,686.30	257,708	77,312.40	307,399	92,219.70	344,205	103,261.50
April	23,973.00	24,544.90	29,478.20	26,213.30	21,848.60	21,396.00	40,629.33	42,065.10	44,167.42	45,379.95	71,202.90	280,981	84,294.30	302,699	90,809.70	344,202	103,260.60
May	26,045.50	27,886.60	32,502.40	28,475.80	25,309.70	23,877.10	43,843.38	49,994.91	49,814.94	53,589.06	86,205.00	338,683	101,604.90	377,817	113,345.10	388,478	116,543.40
June	28,912.40	29,902.80	34,931.20	31,077.90	26,548.00	27,822.10	20,951.80	53,372.76	57,015.42	63,763.56	97,916.40	384,702	115,410.60	417,975	125,392.50	424,771	127,431.30
July	34,484.70	29,765.30	78,912.12	33,393.50	30,508.00	31,609.40	22,713.10	67,069.17	64,963.08	68,626.32	108,513.90	410,188	123,056.40	465,402	139,620.60		
August	26,153.30	56,364.00	67,165.56	59,600.37	24,291.30	23,300.60	17,598.10	43,414.35	47,020.05	53,925.06	86,856.00	310,908	93,272.40	320,393	96,117.90		
September	39,933.60	48,488.79	56,627.55	45,352.47	36,394.47	18,325.00	17,080.50	35,684.01	36,443.61	41,388.69	66,738.90	273,180	81,954.00	295,166	88,549.80		
October	52,272.78	52,443.51	56,081.97	59,660.37	38,831.73	36,074.22	17,542.20	34,653.57	36,692.04	41,537.37	68,005.20	256,641	76,992.30	290,526	87,157.80		
November	40,608.75	46,015.83	83,980.08	37,498.65	31,678.50	29,929.20	13,089.40	28,297.50	30,200.94	32,433.66	51,080.40	195,341	58,602.30	229,475	68,842.50		
December	39,689.16	44,027.76	78,804.72	34,801.20	30,615.90	27,870.15	12,523.90	26,990.88	28,739.55	31,257.24	50,972.70	192,426	57,727.80	213,307	63,992.10		
Reconciliation	209,194.78	193,195.20	624,692.86	208,945.22	202,914.08	214,180.12	133,648.90										

<b>REVENUE</b>	<b>571,875.57</b>	<b>616,167.09</b>	<b>1,215,165.96</b>	<b>635,964.78</b>	<b>524,842.68</b>	<b>502,762.89</b>	<b>425,533.71</b>	<b>472,939.50</b>	<b>493,010.50</b>	<b>534,556.26</b>	<b>844,693.50</b>		<b>974,106.00</b>		<b>1,086,121.80</b>		<b>583,507.50</b>
VEHICLES	2,723,217	2,934,129	3,376,211	2,959,079	2,499,540	2,394,109	2,026,351	2,252,093	2,347,670	2,545,506	2,815,645	3,247,020		3,620,406		1,945,025	

Summary	Payments	Revenue	Difference
2004	1,200,000	571,875.57	628,124.43
2005	1,200,000	616,167.09	583,832.91
2006	1,200,000	1,215,165.96	-15,165.96
2007	1,200,000	635,964.78	564,035.22
2008	1,200,000	524,842.68	675,157.32
2009	1,200,000	502,762.89	697,237.11
2010	1,200,000	425,533.71	774,466.29
2011	1,200,000	472,939.50	727,060.50
2012	1,200,000	493,010.50	706,989.50
2013	1,200,000	534,556.26	665,443.74
2014	0	844,693.50	-844,693.50
2015	0	974,106.00	-974,106.00
2016	0	1,086,121.80	-1,086,121.80
2017		583,507.50	-583,507.50
Cummulative Total	12,000,000	9,481,247.74	2,518,752.26
	2,186,424.87	cumulative	interest paid
	0.00	line of credit	balance bank
"@6/13/17	4,689,807.90	owed to general	fund
	23,046.98	BP CLAIM PAID	

**NOTE: bank loan paid off 11/2/16**

0-2M \$.10  
2-3M \$.21  
3-4M \$.36  
4M+ \$.46  
**starting 1/2014 all at \$.30**



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Finance

**Description of Topic:**

Auditing of Accounts

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Pre-Check Audit

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

2017 Vendor Checks for 08-15-2017 Meeting

DATE: 08/04/2017

PAGE: 1

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
6695	ADVANCED INTEGRATED SECURITY	161832	JULY 2017 REC CTR	13005	07/01/2017	120.00	001-300-616	120.00
6695	ADVANCED INTEGRATED SECURITY	161833	REPLACE FIRE PANEL & E	13017	07/21/2017	1,985.00	001-300-616	1,985.00
6695	ADVANCED INTEGRATED SECURITY	161834	QTRLY MONITORING REC C	13019	08/01/2017	360.00	001-300-616	360.00
6695	ADVANCED INTEGRATED SECURITY	161835	INSTALL 2-WAY VOICE SY	13048	07/21/2017	1,836.00	001-300-616	1,836.00
			VENDOR TOTAL >>			4,301.00		4,301.00
5799	ADVANTAGE FIRST AID & SAFETY	161836	1ST AID SUPPLIES	170718333	07/18/2017	136.28	001-200-516	136.28
			VENDOR TOTAL >>			136.28		136.28
718	AIRGAS USA, LLC	161837	CARBON DIOXIDE IND	9065514121	07/14/2017	56.23	001-030-516	56.23
718	AIRGAS USA, LLC	161838	OXYGEN	9065563061	07/17/2017	19.14	001-200-516	19.14
718	AIRGAS USA, LLC	161839	OXYGEN	9065990176	07/27/2017	219.34	001-175-516	219.34
			VENDOR TOTAL >>			294.71		294.71
6622	AL ADVANCED CRIMINAL JUSTICE	A161840	MARIYAH NALL BALANCE	17-044	07/20/2017	500.00	001-100-630	500.00
			VENDOR TOTAL >>			500.00		500.00
169	AL ASSOC OF FIRE CHIEFS	161841	STEP/GANT/LANF/SMI/PEA	170727	07/27/2017	1,300.00	001-175-630	1,300.00
			VENDOR TOTAL >>			1,300.00		1,300.00
5698	AL DEPT OF LABOR	161842	ELEVATOR CERT-OPERATIO	E68951	07/20/2017	75.00	430-682-710	75.00
			VENDOR TOTAL >>			75.00		75.00
142	AL INCOME TAX DIVISION	161843	JULY 2017	2017-07	07/31/2017	47,051.62	001-000-116	47,051.62
			VENDOR TOTAL >>			47,051.62		47,051.62
3778	AL INTERACTIVE, LLC	161844	#103175 JULY 2017	1687794	07/31/2017	188.25	001-001-612	188.25
			VENDOR TOTAL >>			188.25		188.25
148	AL LEAGUE OF MUNICIPALIT	161845	9/1/17--8/31/2018 M'SH	170721	07/21/2017	2,501.58	001-001-608	2,501.58
			VENDOR TOTAL >>			2,501.58		2,501.58
3436	AL MARINE POLICE	161846	JUNE 2017	MARP170009	06/01/2017	900.00	001-100-614	900.00
			VENDOR TOTAL >>			900.00		900.00
170	AL MUNICIPAL INS CORP	161847	RET PREM	35444	07/20/2017	109.00	001-001-610	109.00
170	AL MUNICIPAL INS CORP	161848	SEA DUSTER BOAT	35445	07/19/2017	37.00	001-001-610	37.00
170	AL MUNICIPAL INS CORP	161849	RENEW POL BLANKET BOND	35468	07/24/2017	50.00	001-001-610	50.00
170	AL MUNICIPAL INS CORP	161850	'16 HONDA #G4206078	35472	07/24/2017	73.00	001-001-610	73.00
			VENDOR TOTAL >>			51.00		51.00
5642	AL PROPANE EXCHANGE	161851	PROPANE/S'PLEX	071917	07/19/2017	93.75	001-300-516	93.75
			VENDOR TOTAL >>			93.75		93.75
116	AL'S 5 & 10 #6 O/B	161852	CARWASH/SCRAPER	255261	07/31/2017	10.99	001-175-516	10.99
116	AL'S 5 & 10 #6 O/B	161853	SPOONS/PLATES/T'CLOTHS	255266	07/28/2017	16.09	001-300-516	16.09
			VENDOR TOTAL >>			27.08		27.08
96	ALACOURT.COM	161854	SEPT 2017	090117	08/15/2017	177.00	001-010-608	63.00
							001-100-608	34.50
							001-001-608	69.50



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 2

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
			VENDOR TOTAL >>			177.00	001-010-608	10.00 177.00
3264	AMAZON.COM CORPORATE CREDIT	161855	ADOBE PHOTOSHOP/SILICA	029202548650	06/23/2017	197.51	001-100-507	197.51
3264	AMAZON.COM CORPORATE CREDIT	161856	20" WIDE ELE	096217392440	07/05/2017	399.99	001-410-507	399.99
3264	AMAZON.COM CORPORATE CREDIT	161857	4PK MIL SPEC	100544551754	06/22/2017	69.99	001-100-507	69.99
3264	AMAZON.COM CORPORATE CREDIT	161858	PLANTRONICS CORDLESS/B	123385161227	06/13/2017	877.22	001-120-507	877.22
3264	AMAZON.COM CORPORATE CREDIT	161859	KEYBOARD CASE/BATTERY	248776376606	06/17/2017	123.95	001-110-507	123.95
3264	AMAZON.COM CORPORATE CREDIT	161860	CULINARY CAMP SUPPLIES	255617988580	06/21/2017	196.47	430-682-650	106.49
							430-682-710	89.98
3264	AMAZON.COM CORPORATE CREDIT	161861	ART SUPPLIES/WINDEX	295033923832	07/07/2017	154.16	430-682-516	154.16
			VENDOR TOTAL >>			2,019.29		2,019.29
6855	AMERICAN ANIMAL CRUELTY	161862	T CONERLY 8/21/17 P'CO	170731	07/31/2017	299.00	001-100-630	299.00
			VENDOR TOTAL >>			299.00		299.00
166	AMERICAN PLANNING ASSOCIATION	161863	076956 10/1/17-9/30/18	076956-1772	07/20/2017	523.00	001-030-608	523.00
			VENDOR TOTAL >>			523.00		523.00
1030	AQUA POOL & PATIO CO	161864	FLOWMETER/REAGENT	83644	06/26/2017	217.55	001-300-618	217.55
1030	AQUA POOL & PATIO CO	161865	CHLORINE	84073	07/14/2017	1,600.00	403-676-516	1,600.00
			VENDOR TOTAL >>			1,817.55		1,817.55
6427	ARNOLD, MARCY	161866	YOGA	170721	07/21/2017	90.00	001-300-612	90.00
6427	ARNOLD, MARCY	161867	YOGA	170728	07/28/2017	90.00	001-300-612	90.00
			VENDOR TOTAL >>			180.00		180.00
6417	ARROW INTERNATIONAL	161868	POWER DRIVER & NEEDLES	95022340	07/24/2017	4,295.91	001-175-507	4,295.91
			VENDOR TOTAL >>			4,295.91		4,295.91
5279	ASPHALT SERVICES	161869	6/26--7/31/2017	170801	08/01/2017	22,870.41	001-611-753	22,870.41
5279	ASPHALT SERVICES	161870	5/16--7/31/2017	170803	08/03/2017	115,402.80	001-601-731	115,402.80
			VENDOR TOTAL >>			138,273.21		138,273.21
396	BALDWIN CTY COMMISSION	161871	#17-061489 C W MASSI	JUNE2017	07/13/2017	150.00	001-100-516	150.00
			VENDOR TOTAL >>			150.00		150.00
210	BALDWIN CTY EMC	161872		17-8-10	07/20/2017	3,279.01	001-175-635	352.53
							001-200-635	455.87
							403-676-635	2,470.61
			VENDOR TOTAL >>			3,279.01		3,279.01
216	BALDWIN TROPHIES	161873	PLAQUE/R FRYE	170720	07/20/2017	50.00	001-100-640	50.00
216	BALDWIN TROPHIES	161874	TREE PLAQUE --PEREZ	170721	07/21/2017	165.00	001-030-516	165.00
			VENDOR TOTAL >>			215.00		215.00
219	BANK OF NEW YORK	161875	501090 TSF TO DSF 2009	1083-1101	08/15/2017	151,444.17	403-000-805	71,178.76
							001-000-805	80,265.41
219	BANK OF NEW YORK	161876	503107 TSF TO DSF 2010	1119-85	08/15/2017	116,653.33	001-000-805	116,653.33
219	BANK OF NEW YORK	161877	403109 TSF TO DSF 2010	1120-85	08/15/2017	90,766.67	001-000-805	90,766.67
219	BANK OF NEW YORK	161878	446215 TSF TO DSF 2012	1157-59	08/15/2017	141,119.79	403-000-805	141,119.79

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 3

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
219	BANK OF NEW YORK	161879	446434 TSF TO DSF 2013	1164-54	08/15/2017	123,270.83	001-000-805	123,270.83
			VENDOR TOTAL >>			623,254.79		623,254.79
5833	BAY NURSING, INC	161880	7/3-5-7/17 INMATE NURS	635646	07/09/2017	240.00	001-110-612	240.00
5833	BAY NURSING, INC	161881	7/10-12-14 INMATE NUR	635684	07/16/2017	248.75	001-110-516	248.75
			VENDOR TOTAL >>			488.75		488.75
3176	BEEBE'S ACTION MASTERS P.C.	161882	S'PLEX RODENT CONTROL	272336	08/02/2017	130.00	001-300-616	130.00
			VENDOR TOTAL >>			130.00		130.00
659	BERNEY OFFICE SOLUTIONS	161883	6/1--7/31/2017	IN338760	07/18/2017	1,602.96	001-200-516	14.32
							403-676-516	15.33
							001-001-516	737.00
							001-030-516	321.31
							001-010-516	24.39
							001-100-516	275.76
							001-110-516	214.85
659	BERNEY OFFICE SOLUTIONS	161884	7/22-8/21/17 P&R	IN339384	07/19/2017	103.68	001-300-618	103.68
659	BERNEY OFFICE SOLUTIONS	161885	7/22--8/21/17 FIELD S	IN339740	07/20/2017	51.84	403-676-612	51.84
659	BERNEY OFFICE SOLUTIONS	161886	7/22--8/21/17 FINANCE	IN344846	07/28/2017	150.00	001-020-516	150.00
			VENDOR TOTAL >>			1,908.48		1,908.48
6060	BLADE CONSTRUCTION LLC	161887	FD#2 DRAINAGE TO 6/15/	170622	06/22/2017	50,504.42	001-608-720	50,504.42
			VENDOR TOTAL >>			50,504.42		50,504.42
1475	BLUETARP FINANCIAL	161888	LIGHT KIT	38278128	07/12/2017	19.98	001-410-618	19.98
1475	BLUETARP FINANCIAL	161889	MESH TAR	38278130	07/12/2017	49.99	404-677-622	49.99
1475	BLUETARP FINANCIAL	161890	WATER COOLER	38296607	07/14/2017	39.99	001-410-516	39.99
1475	BLUETARP FINANCIAL	161891	HVY DUTY BOAT GUIDE	38326758	07/19/2017	69.98	001-030-618	69.98
			VENDOR TOTAL >>			179.94		179.94
5190	BLUME-CANTRELL, MAYA	161892	JULY 2017	170731	07/31/2017	903.70	430-682-660	903.70
			VENDOR TOTAL >>			903.70		903.70
3335	BOB BARKER COMPANY, INC	161893	HYGIENE ITEMS	NC1001364913	07/26/2017	663.02	001-110-516	663.02
3335	BOB BARKER COMPANY, INC	161894	HYGIENE ITEMS	NC1001364999	07/26/2017	78.00	001-110-516	78.00
			VENDOR TOTAL >>			741.02		741.02
6310	BOB RILEY & ASSOCIATES	161895	AUGUST 2017	834	08/01/2017	10,000.00	001-001-612	10,000.00
			VENDOR TOTAL >>			10,000.00		10,000.00
284	BOUND TREE MEDICAL, LLC	161896	MEDICAL SUPPLIES	82577012	07/31/2017	67.90	001-175-516	67.90
			VENDOR TOTAL >>			67.90		67.90
288	BOYETTS PORTABLE TOILETS	161897	7/27--8/23/17 GOLF CTR	232911	07/31/2017	65.00	001-210-614	65.00
			VENDOR TOTAL >>			65.00		65.00
3865	BROWNELL'S INC.	161898	SIG PARTS KITS	14222819.00	07/11/2017	172.47	001-100-618	172.47
			VENDOR TOTAL >>			172.47		172.47
4067	BURROW, STEVE	161899	JULY 2017	170731	07/31/2017	17.50	430-682-660	17.50

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 4

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
			VENDOR TOTAL >>			17.50		17.50
6848	CALLAWAY, EARL R.	161900	AUG '17 SEA DUSTER SLI	170801	08/01/2017	100.00	001-001-640	100.00
			VENDOR TOTAL >>			100.00		100.00
3295	CAMPBELL HARDWARE & SUPPLY, CO	161901	AMMO	209666	07/26/2017	9.90	001-030-516	9.90
			VENDOR TOTAL >>			9.90		9.90
3007	CANAL ROAD ANIMAL HOSPITAL	161902	SADIE TRIFEXIS	163173	07/22/2017	21.19	001-100-612	21.19
3007	CANAL ROAD ANIMAL HOSPITAL	161903	SADIE SHAMPOO/COND/COL	163174	07/22/2017	47.75	001-100-612	47.75
3007	CANAL ROAD ANIMAL HOSPITAL	161904	AXEL/SADIE FOOD/NEXGAR	163361	07/28/2017	499.52	001-100-612	499.52
			VENDOR TOTAL >>			568.46		568.46
4079	CARTER, MARY JOE	161905	JULY 2017	170731	07/31/2017	89.95	430-682-660	89.95
			VENDOR TOTAL >>			89.95		89.95
6853	CARTOBLUE	161906	DEV. OF MAP/GPS	1825	05/25/2017	550.00	001-001-612	550.00
6853	CARTOBLUE	161907	DEV. OF MAPS/GPS	1880	06/07/2017	549.99	001-001-612	549.99
			VENDOR TOTAL >>			1,099.99		1,099.99
6340	CLAY-KING.COM, INC	161908	POTTERY WHEEL/CUTTER	1593	07/19/2017	670.73	430-682-507	670.73
6340	CLAY-KING.COM, INC	161909	CONES/CRAFT ITEMS	1602	07/21/2017	257.66	430-682-659	257.66
			VENDOR TOTAL >>			928.39		928.39
6604	COASTAL INDUSTRIAL SUPPLY LLC	161910	TRAINING POSTER	26998	07/14/2017	34.13	001-200-516	34.13
6604	COASTAL INDUSTRIAL SUPPLY LLC	161911	638/MOUNT BALL COUPLER	27134	07/21/2017	99.99	001-210-618	99.99
			VENDOR TOTAL >>			134.12		134.12
6217	COB HEALTH SELF INSURANCE	161912	AUGUST 2017	201708	07/08/2017	189,990.73	001-001-480	7,991.42
							001-030-480	13,025.91
							001-100-480	36,340.87
							001-110-480	5,813.86
							001-175-480	36,976.38
							001-200-480	25,143.03
							001-210-480	12,134.97
							001-300-480	12,696.84
							403-676-480	14,577.08
							001-010-480	1,280.69
							404-677-480	6,404.33
							001-020-480	5,087.04
							001-120-480	5,068.79
							411-681-480	2,383.54
							430-682-480	4,418.13
							001-410-480	647.85
6217	COB HEALTH SELF INSURANCE	161913	AUGUST 2017	201708D	07/08/2017	13,702.00	001-001-480	618.40
							001-030-480	1,036.80
							001-100-480	2,655.40
							001-110-480	396.40
							001-175-480	2,745.60
							001-200-480	1,703.60
							001-210-480	804.80



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 5

VENDOR		DOCKET		*-----INVOICE-----*			*-----DISTRIBUTION-----*	
NUMBER	NAME	NUMBER	COMMENT/DESC	NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
							001-300-480	796.20
							403-676-480	1,098.40
							001-010-480	92.00
							404-677-480	452.40
							001-020-480	393.00
							001-120-480	403.80
							411-681-480	172.40
							430-682-480	296.80
							001-410-480	36.00
			VENDOR TOTAL >>			203,692.73		203,692.73
319	COCA-COLA/R'DALE SALE CTR	161914	CONCESSIONS	29013300	07/20/2017	2,143.75	001-300-516	2,143.75
			VENDOR TOTAL >>			2,143.75		2,143.75
4052	COCHRAN, WANDA	161915	JULY 2017 EXPENSES	2017-07A	08/02/2017	247.00	001-001-612	247.00
4052	COCHRAN, WANDA	161916	SEPT 2017	2017-09	08/16/2017	7,500.00	001-001-612	7,500.00
			VENDOR TOTAL >>			7,747.00		7,747.00
6858	COLLIER, KEVIN L.	161917	9/18-19-20/2017 WWTP C	170801	08/01/2017	4,500.00	403-676-612	4,500.00
			VENDOR TOTAL >>			4,500.00		4,500.00
371	COMPASS MEDIA, INC	161918	COAST TV MAR-AUG	2017-38872	06/30/2017	225.00	001-410-612	225.00
371	COMPASS MEDIA, INC	161919	COAST TV JUL '17	2017-38873	07/01/2017	450.00	001-410-612	450.00
			VENDOR TOTAL >>			675.00		675.00
381	COMPUTER BACKUP, INC	161920	MONITOR/FETNER	15227	07/17/2017	179.00	001-020-507	179.00
381	COMPUTER BACKUP, INC	161921	THINKPAD/COURT	15239	07/20/2017	895.00	001-010-507	895.00
381	COMPUTER BACKUP, INC	161922	GRAPHICS CARD	15256	07/21/2017	104.00	001-020-516	104.00
381	COMPUTER BACKUP, INC	161923	JULY 2017	15293	07/31/2017	3,217.50	001-001-612	828.75
							001-010-612	81.25
							001-020-612	503.75
							001-100-612	1,056.25
							001-175-612	162.50
							001-200-612	32.50
							001-300-612	276.25
							411-681-612	211.25
							430-682-612	65.00
			VENDOR TOTAL >>			4,395.50		4,395.50
399	CRAFT TURF FARMS	161924	SOD	15306	07/17/2017	151.00	001-210-620	151.00
399	CRAFT TURF FARMS	161925	SOD/ART CTR	15396	07/26/2017	238.50	430-682-710	238.50
			VENDOR TOTAL >>			389.50		389.50
3190	CRAIG, ANN	161926	FITNESS	170721A	07/21/2017	150.00	001-300-612	150.00
3190	CRAIG, ANN	161927	FITNESS	170721B	07/21/2017	300.00	001-300-612	300.00
3190	CRAIG, ANN	161928	FITNESS	170728A	07/28/2017	300.00	001-300-612	300.00
3190	CRAIG, ANN	161929	FITNESS	170728B	07/28/2017	150.00	001-300-612	150.00
			VENDOR TOTAL >>			900.00		900.00
403	CUSTOM TRUCK ACCESSORIES	161930	2 F350'S HITCHES INSTA	2245	06/19/2017	1,200.00	001-410-622	1,200.00
			VENDOR TOTAL >>			1,200.00		1,200.00

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 6

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
230	DADE PAPER CO	161931	TWLS/LINERS/T-TISS	11576594	07/25/2017	211.75	001-175-513	211.75
230	DADE PAPER CO	161932	TOWELS/DRAW TAPE	11592891	07/31/2017	70.45	430-682-513	70.45
			VENDOR TOTAL >>			282.20		282.20
423	DAVID BOWEN SPORTING GOODS	161933	SOCCER EQUIP	154797	07/31/2017	201.54	001-300-516	201.54
			VENDOR TOTAL >>			201.54		201.54
5173	DAVIS, JR. SPENCER E. P.C.	161934	SEPT 2017	2017-09	08/16/2017	4,500.00	001-010-612	4,500.00
			VENDOR TOTAL >>			4,500.00		4,500.00
443	DAVISON OIL COMPANY, INC	161935	BRK CLNR/2CYC OIL/OIL	0331217-IN	07/26/2017	98.22	001-210-510	98.22
443	DAVISON OIL COMPANY, INC	161936	OIL	0331218-IN	07/26/2017	86.92	404-677-510	86.92
443	DAVISON OIL COMPANY, INC	161937	OIL/HYD/BLUE BLOOD DEF	0331219-IN	07/26/2017	159.70	001-200-510	159.70
			VENDOR TOTAL >>			344.84		344.84
6114	DIMARIO, AMY	161938	JULY 2017	170731	07/31/2017	215.60	430-682-660	215.60
			VENDOR TOTAL >>			215.60		215.60
6676	DISH	161939	8255707089749118/7-26-	170726	07/26/2017	98.83	001-100-635	98.83
			VENDOR TOTAL >>			98.83		98.83
6837	DUGGAN, JAMES	161940	REIM/POLICE ACADEMY	170623	06/23/2017	20.00	001-100-630	20.00
6837	DUGGAN, JAMES	161941	REIM/POLICE ACADEMY	170713	07/13/2017	25.02	001-100-630	25.02
6837	DUGGAN, JAMES	161942	REIM/POLICE ACADEMY	170721	07/21/2017	20.00	001-100-630	20.00
6837	DUGGAN, JAMES	161943	REIM/FUEL POLICE ACADE	170728	07/28/2017	20.00	001-100-630	20.00
			VENDOR TOTAL >>			85.02		85.02
543	ELBERTA FARM CO-OP	161944	HYD HOSE /END	1485819	07/31/2017	55.03	001-200-618	55.03
			VENDOR TOTAL >>			55.03		55.03
3312	EMERALD COAST TENNIS DIST.	161945	TYRAPS/D SNAPS WINDSCR	171301	05/10/2017	205.00	001-300-516	205.00
			VENDOR TOTAL >>			205.00		205.00
5849	EMERGENCY EQUIPMENT PROF INC	161946	MONITOR GUN/NOZZLE	428614	07/31/2017	2,436.17	001-175-507	2,436.17
			VENDOR TOTAL >>			2,436.17		2,436.17
558	EMERGENCY VEH MAINT SERV	161947	ENG #1 LABOR/PARTS	4708	07/17/2017	902.01	001-175-622	902.01
			VENDOR TOTAL >>			902.01		902.01
2152	ENVELOC, INC.	161948	JULY 2017	A393829	08/01/2017	1,108.40	001-001-612	1,108.40
2152	ENVELOC, INC.	161949	JULY 2017	A394343	08/01/2017	46.30	001-010-612	46.30
			VENDOR TOTAL >>			1,154.70		1,154.70
6765	FARFROMBORING PROMOTIONS LLC	161950	SUNGLASSES	30062	07/24/2017	302.36	001-100-640	302.36
6765	FARFROMBORING PROMOTIONS LLC	161951	STADIUM CUPS	30063	07/19/2017	198.63	001-120-640	198.63
			VENDOR TOTAL >>			500.99		500.99
3170	FERGUSON ENTERPRISES, INC	161952	SWG CHK VLV'S	1234999	07/25/2017	8,465.22	403-676-516	8,465.22
			VENDOR TOTAL >>			8,465.22		8,465.22
6825	FIREPROOF TESTING SERVICE LLC	161953	EXTINGUISHERS RECHARGE	1022	07/20/2017	65.00	001-100-618	65.00



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 7

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
			VENDOR TOTAL >>			65.00		65.00
3612	FIRST CALL	161954	282/CORE RETURNS	1133-475608	07/07/2017	70.00-	001-100-622	70.00-
3612	FIRST CALL	161955	254/ CORE RETURNS	1133-476210	07/10/2017	28.00-	001-100-622	28.00-
3612	FIRST CALL	161956	848/WIPER BLADES	1133-476261A	07/11/2017	7.18	430-682-622	7.18
3612	FIRST CALL	161957	848/RETURN	1133-476414	07/11/2017	11.99-	430-682-622	11.99-
3612	FIRST CALL	161958	848/RETURN	1133-476429	07/11/2017	44.00-	430-682-622	44.00-
3612	FIRST CALL	161959	FUEL FILTER	1133-476568	07/12/2017	5.99	001-100-622	5.99
3612	FIRST CALL	161960	250/CAPSULE/HARNESS	1133-476761	07/13/2017	15.92	001-100-622	15.92
3612	FIRST CALL	161961	239/WIPER BLADES	1133-477472	07/17/2017	8.68	001-100-622	8.68
3612	FIRST CALL	161962	237/FILTER/OIL	1133-477579	07/17/2017	73.78	001-100-622	73.78
3612	FIRST CALL	161963	241/CALIPHER/ROTORS/PA	1133-477586	07/17/2017	365.96	001-100-622	365.96
3612	FIRST CALL	161964	234/OIL/FILTER/WIPER F	1133-477623	07/17/2017	40.48	001-100-622	40.48
3612	FIRST CALL	161965	325/OIL/FILTER/WIPER B	1133-477626	07/17/2017	51.86	001-030-622	51.86
3612	FIRST CALL	161966	111/ROTOR/PADS/CORE	1133-477808	07/18/2017	302.35	001-010-622	302.35
3612	FIRST CALL	161967	111/VENT SOLND/PURGE V	1133-477936	07/19/2017	86.54	001-010-622	86.54
3612	FIRST CALL	161968	713/OIL FILTER	1133-477981	07/19/2017	11.08	404-677-618	11.08
3612	FIRST CALL	161969	FIRE 2/PWR BELT	1133-477983	07/19/2017	13.52	001-175-616	13.52
3612	FIRST CALL	161970	613/FILTERS	1133-478150	07/20/2017	20.94	403-676-622	20.94
3612	FIRST CALL	161971	276/FILTER/OIL/WIPER F	1133-478151	07/20/2017	46.63	001-100-622	46.63
3612	FIRST CALL	161972	113/BATTERY	1133-478295	07/20/2017	395.26	001-001-640	395.26
3612	FIRST CALL	161973	CORE RETURNS	1133-478544	07/21/2017	350.00-	001-200-622	106.00-
							001-100-622	86.00-
							001-010-622	70.00-
							411-681-622	88.00-
3612	FIRST CALL	161974	788/BATTERY	1133-478937	07/24/2017	100.45	001-300-618	100.45
3612	FIRST CALL	161975	8693/OIL FILTER	1133-479012	07/24/2017	4.02	001-210-618	4.02
3612	FIRST CALL	161976	8693/FILTER	1133-479015	07/24/2017	15.29	001-210-618	15.29
3612	FIRST CALL	161977	5644/FILTER	1133-479021	07/24/2017	3.81	001-210-618	3.81
3612	FIRST CALL	161978	5644/FILTER	1133-479025	07/24/2017	15.29	001-210-618	15.29
3612	FIRST CALL	161979	747/FILTERS	1133-479028	07/24/2017	22.30	001-210-618	22.30
3612	FIRST CALL	161980	821/BATTERY	1133-479047	07/24/2017	84.59	001-300-618	84.59
3612	FIRST CALL	161981	2058/ADAPTERS	1133-479170	07/25/2017	82.40	001-200-618	82.40
3612	FIRST CALL	161982	FILTERS	1133-479200	07/25/2017	16.71	001-001-618	16.71
3612	FIRST CALL	161983	BATTERY	1133-479277	07/25/2017	103.86	001-200-516	103.86
3612	FIRST CALL	161984	258/SHIFT CABLE	1133-479287	07/25/2017	9.56	001-100-622	9.56
3612	FIRST CALL	161985	OIL FILTER	1133-479292	07/25/2017	19.92	001-200-622	19.92
3612	FIRST CALL	161986	849/SENSOR	1133-479296	07/25/2017	51.84	001-300-622	51.84
3612	FIRST CALL	161987	250/BATTERY	1133-479382	07/26/2017	231.94	001-100-622	231.94
3612	FIRST CALL	161988	600/FILTER/OIL/WIPER F	1133-479389	07/26/2017	51.86	403-676-622	51.86
3612	FIRST CALL	161989	285/OIL/FILTER/WIPER F	1133-479390	07/26/2017	51.86	001-100-622	51.86
3612	FIRST CALL	161990	773/OIL-AIR FILTERS	1133-479394	07/26/2017	57.43	404-677-618	57.43
3612	FIRST CALL	161991	111/FILTER/OIL/WIPER F	1133-479397	07/26/2017	29.64	001-010-622	29.64
3612	FIRST CALL	161992	291/OIL/FILTER/WIPER F	1133-479398	07/26/2017	51.86	001-100-622	51.86
3612	FIRST CALL	161993	700IL-AIR FILTERS	1133-479401	07/26/2017	44.60	404-677-622	44.60
3612	FIRST CALL	161994	CORE RETURN	1133-479565	07/26/2017	10.00-	001-200-516	10.00-
3612	FIRST CALL	161995	30LBRI34A	1133-479607	07/27/2017	359.97	001-200-516	359.97
3612	FIRST CALL	161996	FUEL TRMT/BRK CLNR	1133-479651	07/27/2017	184.44	001-200-516	184.44
3612	FIRST CALL	161997	457/BATTERIES	1133-479826	07/28/2017	486.84	001-175-622	486.84
3612	FIRST CALL	161998	458/BATTERIES	1133-479827	07/28/2017	486.84	001-175-622	486.84
3612	FIRST CALL	161999	TRSILER LT	1133-479840	07/28/2017	131.97	001-200-618	131.97

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 8

VENDOR NUMBER NAME	DOCKET NUMBER COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*		
		NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT	
3612 FIRST CALL	162000 CARWASH	1133-479963	07/28/2017	26.94	001-200-516	26.94	
3612 FIRST CALL	162001 768/FLOOR MATS	1133-480732	08/01/2017	24.99	001-200-622	24.99	
	VENDOR TOTAL >>			3,683.40		3,683.40	
6575 FIRST CITY ART ALLIANCE INC	162002 STONEWARE/GLAZE	72517	07/26/2017	472.50	430-682-659	472.50	
	VENDOR TOTAL >>			472.50		472.50	
3020 FITNESS MASTER	162003 BLUE SKATE/LABOR	6783	07/31/2017	283.00	001-300-618	283.00	
3020 FITNESS MASTER	162004 CABLE /LABOR	6803	07/24/2017	220.00	001-300-618	220.00	
3020 FITNESS MASTER	162005 PREVENTIVE MAINTENANCE	6806	07/28/2017	500.00	001-300-618	500.00	
3020 FITNESS MASTER	162006 TREADMILL	714-OBREC	07/14/2017	6,008.67	001-300-507	6,008.67	
	VENDOR TOTAL >>			7,011.67		7,011.67	
6850 FORTILINE WATERWORKS	162007 MAR MAC COUPLING	3996988	07/11/2017	298.40	001-608-720	298.40	
	VENDOR TOTAL >>			298.40		298.40	
6493 FRANCEZ, BARBARA JENKINS	162008 CARDIO DANCE	170721	07/21/2017	90.00	001-300-612	90.00	
6493 FRANCEZ, BARBARA JENKINS	162009 CARDIO DANCE	170728	07/28/2017	90.00	001-300-612	90.00	
	VENDOR TOTAL >>			180.00		180.00	
772 G C I S SUPPLY CO., INC.	162010 COLORED KNITS	90937	07/24/2017	28.50	001-210-516	28.50	
	VENDOR TOTAL >>			28.50		28.50	
723 G N G PLUMBING	162011 GRINDER CLEANING	1179-48578	07/21/2017	202.28	403-676-616	202.28	
723 G N G PLUMBING	162012 GRINDER CLEANING	1179-49851	07/24/2017	224.75	403-676-616	224.75	
723 G N G PLUMBING	162013 REC CTR DRAIN LINES	1179-52712	07/28/2017	1,426.00	001-300-616	1,426.00	
723 G N G PLUMBING	162014 STN 2 WATER REPAIR	1179-52749	07/31/2017	230.79	001-175-616	230.79	
723 G N G PLUMBING	162015 GRINDER PUMPS REPAIR	1179-52794	08/01/2017	2,256.95	403-676-616	2,256.95	
723 G N G PLUMBING	162016 TOILET LID/BARRELBOLT	210805	07/17/2017	34.79	001-300-616	34.79	
723 G N G PLUMBING	162017 CK VLV SPRING/TAPE/ADA	210948	07/19/2017	33.86	430-682-710	33.86	
723 G N G PLUMBING	162018 MISC HDWE/NUT/WASHER	210983	07/20/2017	123.38	001-611-752	123.38	
723 G N G PLUMBING	162019 RECEPT/BOX COVER	210989	07/20/2017	47.97	001-001-640	47.97	
723 G N G PLUMBING	162020 TEE PEX/ADAP PEX/CRIMP	210997	07/20/2017	12.93	430-682-710	12.93	
723 G N G PLUMBING	162021 KEYS/PADLOCK	211088	07/22/2017	16.79	001-300-616	16.79	
723 G N G PLUMBING	162022 BRASS BUSHING	211174	07/24/2017	34.89	403-676-616	34.89	
723 G N G PLUMBING	162023 BULBS	211205	07/25/2017	21.96	001-300-616	21.96	
723 G N G PLUMBING	162024 BULBS	211207	07/25/2017	20.97	001-300-616	20.97	
723 G N G PLUMBING	162025 PIPE/ELBOW/CEMENT/CLNR	211231	07/25/2017	58.05	430-682-710	58.05	
723 G N G PLUMBING	162026 CEMENT/CONN-LOCK SUPER	211345	07/27/2017	33.98	001-001-640	33.98	
723 G N G PLUMBING	162027 CABLE/CLIP/KEY	211382	07/27/2017	17.30	430-682-710	17.30	
723 G N G PLUMBING	162028 COUPLING	211387	07/27/2017	2.50	001-210-516	2.50	
723 G N G PLUMBING	162029 CPLGS/BSHGS	211424	07/28/2017	6.04	001-210-516	6.04	
723 G N G PLUMBING	162030 SLIP CAP	211441	07/28/2017	2.10	001-300-620	2.10	
723 G N G PLUMBING	162031 CONDUIT/LOCKNUT	211451	07/28/2017	10.66	001-410-516	10.66	
723 G N G PLUMBING	162032 ADAPTER/PIPE/HOSECLAMP	211657	08/01/2017	39.12	001-410-516	39.12	
	VENDOR TOTAL >>			4,858.06		4,858.06	
706 G&J POWER EQUIPMENT INC	162033 EDGERS	604012	07/17/2017	789.92	001-210-507	789.92	
706 G&J POWER EQUIPMENT INC	162034 BLADES/CHAIN	604270	07/24/2017	117.89	001-200-618	117.89	
706 G&J POWER EQUIPMENT INC	162035 FILTER/FUEL PUMP/CLUTC	604271	07/24/2017	92.66	001-210-618	92.66	
706 G&J POWER EQUIPMENT INC	162036 CHAIN	604314	07/25/2017	74.85	403-676-516	74.85	



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 9

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
706	G&J POWER EQUIPMENT INC	162037	BLADES	604315	07/25/2017	207.62	001-200-618	131.70
							001-210-618	75.92
706	G&J POWER EQUIPMENT INC	162038	MIX OIL/OIL	604316	07/25/2017	295.20	001-210-510	295.20
706	G&J POWER EQUIPMENT INC	162039	FILTER PAPER/SOLENOID/	604437	07/27/2017	40.98	403-676-622	40.98
706	G&J POWER EQUIPMENT INC	162040	HANDLE	604458	07/28/2017	40.51	001-200-618	40.51
			VENDOR TOTAL >>			1,659.63		1,659.63
6483	GARAGE DOOR RESCUE, INC	162041	STN 1 DOOR REPAIR	209	07/25/2017	248.00	001-175-616	248.00
			VENDOR TOTAL >>			248.00		248.00
5627	GCO, INC	162042	PRIMERA	24133	07/17/2017	1,320.00	001-210-620	1,320.00
5627	GCO, INC	162043	TURFACE	24210	07/20/2017	500.00	001-210-620	500.00
5627	GCO, INC	162044	FERTILIZER	24304	07/26/2017	760.00	001-210-620	760.00
5627	GCO, INC	162045	GRASS SEED	24324	07/27/2017	445.00	001-608-720	445.00
5627	GCO, INC	162046	TURFACE	24340	07/28/2017	1,000.00	001-210-620	1,000.00
			VENDOR TOTAL >>			4,025.00		4,025.00
3873	GCR TIRES & SERVICE	162047	272/TIRES	401-53650	07/21/2017	624.00	001-100-622	624.00
3873	GCR TIRES & SERVICE	162048	1062/TIRES	401-53750	07/26/2017	417.96	001-200-618	417.96
			VENDOR TOTAL >>			1,041.96		1,041.96
739	GRAYBAR ELECTRIC CO, INC	162049	TSF SWCH/LESS \$291.21	992294667	07/10/2017	3,425.98	001-609-730	3,425.98
			VENDOR TOTAL >>			3,425.98		3,425.98
5855	GREENSOUTH SOLUTIONS LLC	162050	WWTP BIOSOLIDS DISPOSAL	937	07/07/2017	154,134.75	403-676-635	154,134.75
			VENDOR TOTAL >>			154,134.75		154,134.75
760	GULF CHRYSLER-DODGE	162051	'14 RAM INTEGR KEY FOB	6047417/1	07/20/2017	261.64	001-100-622	261.64
			VENDOR TOTAL >>			261.64		261.64
1720	GULF COAST BROADCASTING	162052	JULY SPOTS	17070056	07/31/2017	100.00	001-300-650	100.00
			VENDOR TOTAL >>			100.00		100.00
767	GULF COAST OFFICE PRODUCTS	162053	ART CTR FURNITURE/SHEL	3139026-0	06/07/2017	39,610.88	430-682-710	39,610.88
			VENDOR TOTAL >>			39,610.88		39,610.88
5360	GULF DISTRIBUTING	162054	BEER/GOLF CTR	01393013	07/21/2017	119.75	001-300-660	119.75
			VENDOR TOTAL >>			119.75		119.75
789	GULF SHORES POWER SPORTS	162055	OIL FILTER/OIL	95287455	07/28/2017	107.94	404-677-618	107.94
789	GULF SHORES POWER SPORTS	162056	381/OIL FILTER/OIL	95287457	07/28/2017	69.96	001-410-622	69.96
			VENDOR TOTAL >>			177.90		177.90
792	GULF STATES DISTRIBUTORS	162057	SWIFT SLING	1276374-IN	07/25/2017	25.00	001-100-608	25.00
			VENDOR TOTAL >>			25.00		25.00
5711	H. BARBER & SONS, INC	162058	FINISHER	BL31455	07/13/2017	259.15	404-677-622	259.15
			VENDOR TOTAL >>			259.15		259.15
806	HACH COMPANY	162059	PIPET/SUL ACD/NUTRIENT	10551238	07/20/2017	768.69	403-676-516	768.69
806	HACH COMPANY	162060	PIPET TIPS	10553231	07/21/2017	28.55	403-676-516	28.55



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 10

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
806	HACH COMPANY	162061	PIPET TIPS/CYLINDER	10555560	07/24/2017	54.50	403-676-516	54.50
			VENDOR TOTAL >>			851.74		851.74
808	HADLEY TERMITE & PEST CONTROL	162062	FIRE/RES 1 TERMITE INS	01-0162332	06/12/2017	295.00	001-175-616	295.00
			VENDOR TOTAL >>			295.00		295.00
807	HALL'S AUTO SUPPLY	162063	AC FITT/HOSE 795	103772	08/02/2017	65.33	404-677-622	65.33
			VENDOR TOTAL >>			65.33		65.33
5839	HARBOR COMMUNICATIONS, LLC	162064	2704421003 MARINE POLI	170708G	07/08/2017	28.39	001-100-605	28.39
5839	HARBOR COMMUNICATIONS, LLC	162065	2664701001 POLICE	170821A	07/22/2017	83.76	001-100-605	83.76
			VENDOR TOTAL >>			112.15		112.15
6820	HARRIS LOCAL GOVERNMENT	162066	DATA CONVERSION	LGXT00004707	06/30/2017	3,939.25	001-020-612	3,939.25
			VENDOR TOTAL >>			3,939.25		3,939.25
833	HAYNES EMERGENCY LIGHTING	162067	EQUIP FOR VEHICLES	1701050-IN	07/27/2017	70,941.80	001-100-507	70,941.80
833	HAYNES EMERGENCY LIGHTING	162068	2 FRONT WINDOWS/8 TAHO	1701051-IN	07/27/2017	480.00	001-100-618	480.00
			VENDOR TOTAL >>			71,421.80		71,421.80
6663	HENDRIXSON, SUSAN	162069	CARDIO DANCE	170721	07/21/2017	60.00	001-300-612	60.00
			VENDOR TOTAL >>			60.00		60.00
1335	HENRY SCHEIN INC	162070	MEDICAL SUPPLIES	43742846	07/21/2017	570.00	001-175-516	570.00
1335	HENRY SCHEIN INC	162071	MEDICAL SUPPLIES	43743026	07/21/2017	157.80	001-175-516	157.80
			VENDOR TOTAL >>			727.80		727.80
5804	HENSON, DEBRA	162072	JULY 2017	170731	07/31/2017	56.00	430-682-660	56.00
			VENDOR TOTAL >>			56.00		56.00
892	HYDRA SERVICE, INC.	162073	613/STARTER	121892	07/24/2017	213.00	403-676-516	213.00
			VENDOR TOTAL >>			213.00		213.00
6022	INNER PARISH SECURITY CORP	162074	AUGUST 2017	335898	08/01/2017	2,502.41	001-300-612	1,090.97
			VENDOR TOTAL >>			2,502.41	001-001-612	1,411.44
								2,502.41
940	INTERSTATE PRINTING/GRAPH	162075	CITY HALL	36226	06/01/2017	46.00	001-001-516	46.00
940	INTERSTATE PRINTING/GRAPH	162076	V PISHNA BUSI CARDS	36264	06/13/2017	46.00	001-001-516	46.00
940	INTERSTATE PRINTING/GRAPH	162077	G McMILLAN BUSI CARDS	36345	07/07/2017	34.00	001-030-516	34.00
940	INTERSTATE PRINTING/GRAPH	162078	BUSI CARDS/B FETNER	36392	05/23/2017	46.00	001-020-516	46.00
			VENDOR TOTAL >>			172.00		172.00
941	INTN'L ASSOC FIRE CHIEFS, INC	162079	ARD/LANF/PEAR/SMIT/WEL	170728	07/28/2017	996.00	001-175-608	996.00
			VENDOR TOTAL >>			996.00		996.00
1945	INTN'L CODE COUNCIL, INC	162080	STEPHENSON/PLAN REVIEW	1000794238	07/24/2017	820.00	001-175-630	820.00
			VENDOR TOTAL >>			820.00		820.00
945	INTOXIMETERS, INC	162081	MOUTHPIECE SETS	570317	07/21/2017	146.25	001-100-507	146.25
			VENDOR TOTAL >>			146.25		146.25

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 11

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
871	JIM HOUSE & ASSOCIATES	162082	LIFTING HANDLES	6881	07/24/2017	1,148.00	403-676-616	1,148.00
871	JIM HOUSE & ASSOCIATES	162083	MOTOR STARTER/LOW ASY	6893	07/24/2017	2,204.00	403-676-616	2,204.00
			VENDOR TOTAL >>			3,352.00		3,352.00
3900	JIM'S GOLF CART PLUS	162084	TIRE	7898	07/25/2017	60.00	001-210-618	60.00
			VENDOR TOTAL >>			60.00		60.00
3093	K&B HYDRAULICS	162085	750/DIR VLV REPAIR	1072	07/15/2017	237.20	001-410-622	237.20
			VENDOR TOTAL >>			237.20		237.20
6126	LADSCO	162086	HMD GALV CECO/WEST'S D 41055		07/27/2017	470.25	001-030-616	470.25
			VENDOR TOTAL >>			470.25		470.25
631	LAWLER, JOHN L.	162087	SEPT 2017	2017-09	08/16/2017	1,500.00	001-030-612	1,500.00
			VENDOR TOTAL >>			1,500.00		1,500.00
6594	LAYNE LABORATORIES INC	162088	FROZEN RATS/MICE	102449	02/13/2017	617.50	001-030-516	617.50
			VENDOR TOTAL >>			617.50		617.50
5305	LAZZARI TRUCK REPAIR, INC.	162089	709?INSPECTION	51817	07/12/2017	415.15	404-677-622	415.15
5305	LAZZARI TRUCK REPAIR, INC.	162090	795/INSPECTION	51818	07/12/2017	466.92	404-677-622	466.92
			VENDOR TOTAL >>			882.07		882.07
1234	LIBERTY LINEN/AT WORK UNI	162091	EMBROIDERY	515018	07/19/2017	47.40	001-100-540	47.40
1234	LIBERTY LINEN/AT WORK UNI	162092	SHIRTS	516004	08/01/2017	44.99	001-001-516	44.99
1234	LIBERTY LINEN/AT WORK UNI	162093	T-TISS/P-TWLS/SOAP	516656	07/21/2017	499.60	001-200-513	499.60
1234	LIBERTY LINEN/AT WORK UNI	162094	CLEANER	516667	07/21/2017	28.30	001-020-516	28.30
1234	LIBERTY LINEN/AT WORK UNI	162095	P-TWLS/CUPS/LINERS/PLA	516694	07/21/2017	184.70	001-110-516	184.70
1234	LIBERTY LINEN/AT WORK UNI	162096	P-TWLS/GLOVES/SOAP/CLN	516710	07/21/2017	271.30	403-676-516	271.30
1234	LIBERTY LINEN/AT WORK UNI	162097	T-TISS/P-TWLS/SOAP/LIN	516903	07/25/2017	499.85	001-200-513	499.85
1234	LIBERTY LINEN/AT WORK UNI	162098	CLNR/ODO-BAN	517095	07/26/2017	59.20	411-681-513	59.20
1234	LIBERTY LINEN/AT WORK UNI	162099	LINERS	517435	07/31/2017	97.75	404-677-516	97.75
1234	LIBERTY LINEN/AT WORK UNI	162100	DUDTER/HANDLE	517520	07/31/2017	11.10	001-200-513	11.10
1234	LIBERTY LINEN/AT WORK UNI	162101	T-TISS/P-TWLS/GLOVES/L	517738	08/02/2017	499.85	001-200-513	499.85
			VENDOR TOTAL >>			2,244.04		2,244.04
1230	LIBRARY BOARD	162102	SEPT 2017	2017-09	08/16/2017	49,465.83	001-350-645	49,465.83
			VENDOR TOTAL >>			49,465.83		49,465.83
6248	LIFESTAR BIO MEDICAL	162103	ZOLL EKG SUPPLIES	120066	07/21/2017	448.00	001-175-516	448.00
			VENDOR TOTAL >>			448.00		448.00
5835	LONG, MARGARET CHILDRESS	162104	JULY 2017	170731	07/31/2017	14.00	430-682-660	14.00
			VENDOR TOTAL >>			14.00		14.00
1259	LOWE'S COMPANIES, INC	162105	FOUNTAIN/PLANTS	07306	07/06/2017	351.75	430-682-710	351.75
1259	LOWE'S COMPANIES, INC	162106	HIGH VIZ FIBERGLA/GALV	08357	08/01/2017	153.69	001-300-516	153.69
1259	LOWE'S COMPANIES, INC	162107	HANDTRUCKS	10703	07/28/2017	80.73	001-200-507	80.73
1259	LOWE'S COMPANIES, INC	162108	TEEN ROOM UPGRADES	12271	07/18/2017	125.74	001-300-616	125.74
1259	LOWE'S COMPANIES, INC	162109	MIRROR/UTIL PULL	13264	07/06/2017	125.97	001-030-516	125.97
1259	LOWE'S COMPANIES, INC	162110		24534A	07/10/2017	159.61	001-200-616	159.61



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 12

VENDOR NUMBER	NAME	DOCKET		*-----INVOICE-----*			*-----DISTRIBUTION-----*	
		NUMBER	COMMENT/DESC	NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
1259	LOWE'S COMPANIES, INC	162111	PLANTS	38030	07/05/2017	332.49	001-210-516	332.49
1259	LOWE'S COMPANIES, INC	162112	PLANTS	38597	07/18/2017	389.78	430-682-710	389.78
1259	LOWE'S COMPANIES, INC	162113	PLANTS	38669	07/27/2017	185.66	430-682-710	185.66
1259	LOWE'S COMPANIES, INC	162114	MESH BAS/FASTTRACKSHEL	39276A	07/25/2017	405.71	411-681-516	405.71
1259	LOWE'S COMPANIES, INC	162115	CHAIN DRIVE/BOOTS	39351A	07/10/2017	165.30	001-200-616	165.30
1259	LOWE'S COMPANIES, INC	162116	DWLT 20V LITH/STRP	39434	07/20/2017	416.10	411-681-507	416.10
1259	LOWE'S COMPANIES, INC	162117	DRUM FAN/AIR IMPACT	39437E	07/20/2017	386.60	403-676-516	386.60
1259	LOWE'S COMPANIES, INC	162118	LUMBER/CLNRS/MOPS	39482B	07/26/2017	135.11	001-001-640	135.11
1259	LOWE'S COMPANIES, INC	162119	BRUSHES/EXTENSIONS	39531A	07/30/2017	120.50	411-681-516	120.50
1259	LOWE'S COMPANIES, INC	162120	PRSSR S/PTCH &L/CARPET	39666A	07/03/2017	95.34	411-681-516	95.34
1259	LOWE'S COMPANIES, INC	162121	MOWER BELT/SAW BLADES	39823C	07/27/2017	77.85	001-030-516	77.85
1259	LOWE'S COMPANIES, INC	162122	SPLICE ADAPTER/COAX	39879	07/12/2017	52.08	411-681-516	52.08
1259	LOWE'S COMPANIES, INC	162123	ORBIT PL/DISCS	40075	07/28/2017	103.50	001-200-516	103.50
1259	LOWE'S COMPANIES, INC	162124	PWR GABLE/BLADES/POST	40228	08/01/2017	463.69	403-676-616	463.69
1259	LOWE'S COMPANIES, INC	162125	WHSP DRIVE	40807	06/26/2017	167.14	001-200-616	167.14
			VENDOR TOTAL >>			4,175.12		4,175.12
5535	LOWELL, C. MARK, ATTY AT LAW	162126	R M STALLWORTH	MC2016100600	07/25/2017	128.10	001-010-612	128.10
5535	LOWELL, C. MARK, ATTY AT LAW	162127	R GABRIEL	MC2016102800	07/25/2017	501.90	001-010-612	501.90
5535	LOWELL, C. MARK, ATTY AT LAW	162128	W R PEOPLES	MC2017003000	07/25/2017	128.10	001-010-612	128.10
5535	LOWELL, C. MARK, ATTY AT LAW	162129	K J KIPP	MC2017042100	07/25/2017	128.10	001-010-612	128.10
5535	LOWELL, C. MARK, ATTY AT LAW	162130	B H LINES	MC2017043300	07/25/2017	128.10	001-010-612	128.10
			VENDOR TOTAL >>			1,014.30		1,014.30
1316	MAGNOLIA LANDSCAPE SUPPLY	162131	PLANTS	101832	07/12/2017	254.75	430-682-710	254.75
			VENDOR TOTAL >>			254.75		254.75
1320	MATHES OF ALABAMA	162132	DISC \$3.44	350012-00	07/19/2017	168.56	001-200-616	168.56
1320	MATHES OF ALABAMA	162133	DISC \$0.93	350145-00	07/20/2017	45.74	001-001-640	45.74
1320	MATHES OF ALABAMA	162134	DISC \$4.13	350364-00	07/24/2017	202.37	001-001-640	202.37
			VENDOR TOTAL >>			416.67		416.67
3288	MINGLEDORFF'S, INC	162135	DISC \$24.84	7052684-00	07/21/2017	2,459.16	001-001-616	2,459.16
3288	MINGLEDORFF'S, INC	162136	DISC \$0.49	7084466-00	07/26/2017	48.07	001-030-616	48.07
3288	MINGLEDORFF'S, INC	162137	DISC \$3.75	7088740-00	07/28/2017	371.25	001-300-616	371.25
			VENDOR TOTAL >>			2,878.48		2,878.48
1342	MOBILE ASPHALT COMPANY	162138		1374	07/19/2017	94.80	411-681-618	94.80
			VENDOR TOTAL >>			94.80		94.80
6698	MONTGOMERY MAINTENANCE	162139	MARINE 5 REPAIRS	170607368	06/06/2017	986.00	001-175-622	986.00
			VENDOR TOTAL >>			986.00		986.00
1377	MORGAN'S ICE	162140	ICE/S'PLEX	33-704961	07/17/2017	156.25	001-300-516	156.25
1377	MORGAN'S ICE	162141	ICE/STREET	33-705012	07/20/2017	87.50	001-210-516	29.17
							001-200-516	29.17
							404-677-516	29.16
1377	MORGAN'S ICE	162142	ICE/STREET	33-705073	07/24/2017	81.25	001-200-516	40.62
							001-210-516	40.63
1377	MORGAN'S ICE	162143	ICE/STREET	33-705123	07/27/2017	137.50	001-200-516	45.84
							001-210-516	45.83

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 13

VENDOR NUMBER NAME	DOCKET NUMBER COMMENT/DESC	*-----INVOICE-----*				*-----DISTRIBUTION-----*	
		NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT	
1377 MORGAN'S ICE	162144 ICE/S'PLEX	33-705171	07/31/2017	150.00	404-677-516	45.83	
1377 MORGAN'S ICE	162145 ICE/STREET	33-705172	07/31/2017	75.00	001-300-516	150.00	
					001-200-516	25.00	
					001-210-516	25.00	
					404-677-516	25.00	
	VENDOR TOTAL >>			687.50		687.50	
1390 MOYER FORD SALES, INC	162146 732/SEALING RING	604977	07/19/2017	8.88	001-200-622	8.88	
	VENDOR TOTAL >>			8.88		8.88	
3916 MULLET WRAPPER	162147 GOLF ADS	717070	07/31/2017	350.00	001-300-650	350.00	
	VENDOR TOTAL >>			350.00		350.00	
6852 MUNICIPAL CODE CORPORATION	162148 SUP PGS/IMAGES/ORDBANK	00293013	07/24/2017	3,036.84	001-001-612	3,036.84	
	VENDOR TOTAL >>			3,036.84		3,036.84	
6223 McKAY, CYNTHIA	162149 CARDIO DANCE	170728	07/28/2017	60.00	001-300-612	60.00	
	VENDOR TOTAL >>			60.00		60.00	
1439 NAT'L REC & PARK ASSN	162150 PREMIER PACKAGE	170831	08/31/2017	850.00	001-300-608	850.00	
	VENDOR TOTAL >>			850.00		850.00	
6437 O'BRIEN, DANIEL B.	162151	080417A	08/04/2017	396.00	001-000-104	396.00	
6437 O'BRIEN, DANIEL B.	162152	080417B	08/04/2017	98.00	001-000-104	98.00	
6437 O'BRIEN, DANIEL B.	162153	080417C	08/04/2017	377.00	001-000-104	377.00	
	VENDOR TOTAL >>			871.00		871.00	
1515 OFFICE DEPOT, INC	162154 PRINTER/INK/LABELS/HOL	2086755083	07/17/2017	312.64	001-100-515	312.64	
1515 OFFICE DEPOT, INC	162155 BOOKCASE	2088174770	07/21/2017	32.91	001-030-516	32.91	
1515 OFFICE DEPOT, INC	162156 CHAIRS	2090385767	07/27/2017	519.98	430-682-507	519.98	
1515 OFFICE DEPOT, INC	162157 PAPER/USB DRIVE	2090386577	07/27/2017	120.94	001-100-515	120.94	
1515 OFFICE DEPOT, INC	162158 ERASERS	919429131002	04/11/2017	2.99	001-020-516	2.99	
1515 OFFICE DEPOT, INC	162159 PAPER/MOISTENER	929188980001	05/19/2017	89.48	001-020-516	89.48	
1515 OFFICE DEPOT, INC	162160 PAPER/INK/TAPE/CORR TA	944891945001	07/20/2017	218.38	001-100-515	218.38	
	VENDOR TOTAL >>			1,297.32		1,297.32	
1511 OLD DOMINION BRUSH	162161 TRANSITION LCT/DISC DU	0106610-IN	07/20/2017	2,221.81	404-677-618	2,221.81	
	VENDOR TOTAL >>			2,221.81		2,221.81	
1520 ORANGE BEACH AUTO & MARINE	162162 303	001-291994	07/13/2017	55.69	001-100-510	55.69	
1520 ORANGE BEACH AUTO & MARINE	162163 RTK 5/CHARGER HOSE	001-292261	07/19/2017	39.12	001-175-622	39.12	
1520 ORANGE BEACH AUTO & MARINE	162164 GREASE/AUTO TRANS	001-292306	07/20/2017	14.76	001-410-622	14.76	
1520 ORANGE BEACH AUTO & MARINE	162165 REAR BLADE	001-292595	07/25/2017	7.99	001-410-622	7.99	
1520 ORANGE BEACH AUTO & MARINE	162166 CAP SCREWA	001-292609	07/26/2017	12.24	001-030-618	12.24	
1520 ORANGE BEACH AUTO & MARINE	162167 FUEL HOSE/CONN/CLAMPS	001-292611	07/26/2017	67.96	001-001-640	67.96	
1520 ORANGE BEACH AUTO & MARINE	162168 RAD HOSE/CPLGS	001-292839	07/31/2017	138.26	404-677-622	138.26	
1520 ORANGE BEACH AUTO & MARINE	162169 113/CPLGS/HYD HOSE/FUE	001-292865	07/31/2017	87.81	001-001-640	87.81	
1520 ORANGE BEACH AUTO & MARINE	162170 HYD HOSE/CPLGS	001-292894	07/31/2017	23.33	404-677-622	23.33	
1520 ORANGE BEACH AUTO & MARINE	162171 13/OIL	001-292895	07/31/2017	18.00	001-001-640	18.00	
1520 ORANGE BEACH AUTO & MARINE	162172 PK OF 5	001-292980	08/02/2017	1.87	404-677-622	1.87	
	VENDOR TOTAL >>			467.03		467.03	



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 14

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
6345	PACESETTER PERSONNEL SERVICES	162173	GRI/JOH/KOE/SMA/VAN/WE	77527PEN	07/16/2017	2,359.24	404-677-612	559.64
							001-210-612	1,799.60
6345	PACESETTER PERSONNEL SERVICES	162174	PRIM	77566PEN	07/16/2017	549.45	001-200-612	549.45
6345	PACESETTER PERSONNEL SERVICES	162175	GRIFFIN/JOHNSON/KOE/SM	77605PEN	07/23/2017	2,301.74	404-677-612	574.00
							001-210-612	1,727.74
6345	PACESETTER PERSONNEL SERVICES	162176	PRIM	77641PEN	07/23/2017	708.97	001-200-612	708.97
			VENDOR TOTAL >>			5,919.40		5,919.40
1606	PACK 'N MAIL	162177	ADEM/WATER DIV	168999	06/16/2017	13.53	403-676-612	13.53
1606	PACK 'N MAIL	162178	BAY SOUTH LTD	169515	07/24/2017	19.15	001-609-721	19.15
1606	PACK 'N MAIL	162179	SAMUEL J PALMER/ADOT	169591	07/28/2017	25.83	001-030-516	25.83
			VENDOR TOTAL >>			58.51		58.51
1611	PARADISE MARINE CENTER	162180	OIL/FILTER/GEAR LUBE	4143051	07/24/2017	439.07	001-100-622	439.07
1611	PARADISE MARINE CENTER	162181	OIL FILTER	4143058	07/24/2017	51.68	001-100-622	51.68
			VENDOR TOTAL >>			490.75		490.75
6382	PARIS ACE HARDWARE	162182	KEY	6313087	05/05/2017	1.25	430-682-516	1.25
6382	PARIS ACE HARDWARE	162183	KEY	6333295	07/03/2017	6.25	001-100-516	6.25
6382	PARIS ACE HARDWARE	162184	FILTERS	6334526	07/07/2017	8.22	001-200-516	8.22
6382	PARIS ACE HARDWARE	162185	PLIERS/CABLE TIES	6336478	07/14/2017	14.33	001-100-516	14.33
6382	PARIS ACE HARDWARE	162186	ANC KIT	6338124	07/19/2017	11.03	001-410-516	11.03
6382	PARIS ACE HARDWARE	162187	NUTS/BOLTS	6338200	07/20/2017	56.70	001-611-752	56.70
6382	PARIS ACE HARDWARE	162188	AIR FRESH/BLRACH	6338290	07/20/2017	25.27	001-410-516	25.27
6382	PARIS ACE HARDWARE	162189	CAP/ADTR/ELBOW/CPLG	6338409	07/21/2017	16.07	001-001-616	16.07
6382	PARIS ACE HARDWARE	162190	NUTS/BOLTS	6338436	07/21/2017	74.58	001-611-752	74.58
6382	PARIS ACE HARDWARE	162191	NUTS/BOLTS	6338634	07/21/2017	2.72	001-001-640	2.72
6382	PARIS ACE HARDWARE	162192	FURN FOLTER	6339278	07/24/2017	15.48	001-001-616	15.48
6382	PARIS ACE HARDWARE	162193	FIRE EXT/TOTE/SCR 50 P	6339373	07/24/2017	45.36	001-001-640	45.36
6382	PARIS ACE HARDWARE	162194	TEST PLUG SLIP	6339393	07/24/2017	5.51	001-200-516	5.51
6382	PARIS ACE HARDWARE	162195	113/BUSHING	6339585	07/25/2017	2.29	001-001-640	2.29
6382	PARIS ACE HARDWARE	162196	COMMAND HOOKS	6339644	07/25/2017	9.19	001-100-640	9.19
6382	PARIS ACE HARDWARE	162197	NUTS/BOLTS/PAIL	6339653	07/25/2017	7.92	001-611-752	7.92
6382	PARIS ACE HARDWARE	162198	ANG VLV/NUTS/BOLTS/SUP	6339668	07/25/2017	37.05	001-110-616	37.05
6382	PARIS ACE HARDWARE	162199	NUTS/BOLTS	6339685	07/25/2017	6.40	403-676-616	6.40
6382	PARIS ACE HARDWARE	162200	NUTS/BOLTS/COUPLE	6339742	07/25/2017	3.49	001-110-616	3.49
6382	PARIS ACE HARDWARE	162201	HOOKS/PIC HGRS	6339793	07/25/2017	5.51	001-100-640	5.51
6382	PARIS ACE HARDWARE	162202	CREVICE TOOL/DUST BRUS	6339832	07/26/2017	13.86	411-681-516	13.86
6382	PARIS ACE HARDWARE	162203	BRUSH WHEEL/CUP	6339902	07/26/2017	7.34	001-200-516	7.34
6382	PARIS ACE HARDWARE	162204	ENGRAVER ELEC WEN	6339955	07/26/2017	12.95	001-175-516	12.95
6382	PARIS ACE HARDWARE	162205	COIPLE FLEX/TEE	6339976	07/26/2017	7.34	001-110-616	7.34
6382	PARIS ACE HARDWARE	162206	PADLOCK	6340020	07/26/2017	4.22	001-030-516	4.22
6382	PARIS ACE HARDWARE	162207	CONCRETE PATCH/NUTS/BO	6340056	07/26/2017	8.54	001-110-616	8.54
6382	PARIS ACE HARDWARE	162208	GARDEN HOSE	6340251	07/27/2017	59.99	430-682-620	59.99
6382	PARIS ACE HARDWARE	162209	GAS CAN	6340363	07/27/2017	18.39	001-175-516	18.39
6382	PARIS ACE HARDWARE	162210	GARDEN HOSE	6340384	07/27/2017	59.99-	430-682-620	59.99-
6382	PARIS ACE HARDWARE	162211	HOSE/NOZZLE SET	6340385	07/27/2017	45.50	430-682-620	45.50
6382	PARIS ACE HARDWARE	162212	FILTERS	6340478	07/28/2017	9.18	001-100-622	9.18
6382	PARIS ACE HARDWARE	162213	SPRAYER/PADLOCK/KEYS	6340596	07/28/2017	63.38	001-210-516	63.38
6382	PARIS ACE HARDWARE	162214	HVY DTY REMOVER	6340611	07/28/2017	6.89	001-210-516	6.89
6382	PARIS ACE HARDWARE	162215	FELT PADS/ROPE/TAPE	6340674	07/28/2017	40.11	001-100-618	40.11

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 15

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
6382	PARIS ACE HARDWARE	162216	THINNER/MARKERS	6341270	07/31/2017	20.21	001-300-616	20.21
6382	PARIS ACE HARDWARE	162217	WINDEX	6341271	07/31/2017	35.96	430-682-513	35.96
6382	PARIS ACE HARDWARE	162218	SEE CM 6341285	6341275	07/31/2017	41.14	001-300-516	41.14
6382	PARIS ACE HARDWARE	162219	SEE INV 6341275	6341285	07/31/2017	41.14	001-300-516	41.14
6382	PARIS ACE HARDWARE	162220	POTTING SOIL	6341327	07/31/2017	119.92	430-682-710	119.92
6382	PARIS ACE HARDWARE	162221	PLAYMATE COOLER	6341339	07/31/2017	24.99	001-110-640	24.99
6382	PARIS ACE HARDWARE	162222	STAIN	6341343	07/31/2017	5.51	001-300-616	5.51
6382	PARIS ACE HARDWARE	162223	MAG DRIVE GUIDE/TORX I	6341466	07/31/2017	10.28	403-676-616	10.28
6382	PARIS ACE HARDWARE	162224	EDGING	6341607	08/01/2017	13.99	001-210-516	13.99
6382	PARIS ACE HARDWARE	162225	MARKING PAINT	6341682	08/01/2017	12.12	403-676-616	12.12
6382	PARIS ACE HARDWARE	162226	RULE TAPE	6341706	08/01/2017	11.99	001-200-516	11.99
6382	PARIS ACE HARDWARE	162227	MOLD CONTROL/PRY BAR	6341713	08/01/2017	43.22	001-001-640	43.22
6382	PARIS ACE HARDWARE	162228	TARP	6341772	08/01/2017	30.35	001-030-516	30.35
6382	PARIS ACE HARDWARE	162229	HOSE/GREASE/PUTTY KNIF	6341903	08/01/2017	57.56	001-410-516	57.56
6382	PARIS ACE HARDWARE	162230	SPRAYER	6341945	08/02/2017	16.14	001-001-640	16.14
6382	PARIS ACE HARDWARE	162231	BUCKETS/LLIDS	6341987	08/02/2017	12.50	001-001-640	12.50
6382	PARIS ACE HARDWARE	162232	708/BROAD HINGE	6341991	08/02/2017	10.28	404-677-622	10.28
6382	PARIS ACE HARDWARE	162233	PIPE WRENCHES	6341999	08/02/2017	27.18	001-001-640	27.18
6382	PARIS ACE HARDWARE	162234	SAW BLADES	6342050	08/02/2017	26.77	001-300-516	26.77
6382	PARIS ACE HARDWARE	162235	PRY BAR	6342133	08/02/2017	11.03	001-300-516	11.03
6382	PARIS ACE HARDWARE	162236	NUTS/BOLTS/GARMENT HOO	6342176	08/02/2017	67.19	001-300-616	67.19
6382	PARIS ACE HARDWARE	162237	AIR FILTER	6342254	08/03/2017	3.99	001-300-616	3.99
6382	PARIS ACE HARDWARE	162238	AIR FILTERS	6342255	08/03/2017	11.97	001-300-616	11.97
			VENDOR TOTAL >>			1,165.47		1,165.47
6102	PARKS, KERRY	162239	JULY 2017	170731	07/31/2017	882.00	430-682-660	882.00
			VENDOR TOTAL >>			882.00		882.00
5676	PHOENIX WEST OWNER'S ASSOC	162240	SEPT 2017	2017-09	08/16/2017	98.00	001-175-605	98.00
			VENDOR TOTAL >>			98.00		98.00
5338	POSITIVE PROMOTIONS, INC	162241	SHIELD STICKERS/BRACLE	05809895	07/14/2017	542.22	001-100-640	542.22
			VENDOR TOTAL >>			542.22		542.22
6366	RADIO TECHNOLOGY, INC	162242	260.50KEYPAD CASES/REF	13164	07/21/2017	260.50	001-030-540	260.50
			VENDOR TOTAL >>			260.50		260.50
1817	RAM TOOL & SUPPLY CO. INC	162243	SIKAFLEX	93811779	07/13/2017	136.32	001-200-620	136.32
1817	RAM TOOL & SUPPLY CO. INC	162244	ORANGE GLO FLAG TAPE	93826719	07/20/2017	277.92	001-200-516	277.92
			VENDOR TOTAL >>			414.24		414.24
6624	REESE, TAMMY	162245	JULY 2017	170731	07/31/2017	147.00	430-682-660	147.00
			VENDOR TOTAL >>			147.00		147.00
1344	RETIF OIL & FUEL	162246	FUEL	1128279	07/10/2017	12,535.08	001-000-049	12,535.08
1344	RETIF OIL & FUEL	162247	FUEL	1131202	07/20/2017	3,256.61	001-000-049	3,256.61
1344	RETIF OIL & FUEL	162248	FUEL	1131496	07/21/2017	12,340.52	001-000-049	12,340.52
1344	RETIF OIL & FUEL	162249	FUEL/MARINE	1132213	07/25/2017	1,861.37	001-100-510	1,861.37
			VENDOR TOTAL >>			29,993.58		29,993.58
1831	RIVIERA TIRE & AUTOMOTIVE	162250	WHEEL ALIGN/COURT	48994	07/20/2017	89.00	001-010-622	89.00



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 16

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
1831	RIVIERA TIRE & AUTOMOTIVE	162251	746/ARMREST/IGN LK/LAB	49080	07/27/2017	496.76	001-200-622	496.76
			VENDOR TOTAL >>			585.76		585.76
6064	RODGERS, ELLEN V	162252	JULY 2017	170731	07/31/2017	14.00	430-682-660	14.00
			VENDOR TOTAL >>			14.00		14.00
6397	RUSH, DANIEL W.	162253	JULY 2017	170731	07/31/2017	477.40	430-682-660	477.40
			VENDOR TOTAL >>			477.40		477.40
6258	SALINAS, SUSAN S.	162254	JULY 2017	170731	07/31/2017	11.20	430-682-660	11.20
			VENDOR TOTAL >>			11.20		11.20
1924	SAM'S CLUB DIRECT	162255	CONCESSIONS	6740	07/25/2017	1,377.26	001-300-516	1,377.26
1924	SAM'S CLUB DIRECT	162256	CONCESSIONS	8313	07/11/2017	2,995.45	001-300-516	2,995.45
			VENDOR TOTAL >>			4,372.71		4,372.71
1925	SAM'S STOP N SHOP	162257	SARDINES	5412586	07/06/2017	22.50	001-030-516	22.50
1925	SAM'S STOP N SHOP	162258	ELEC TAPE/SPIRAL WRAP	5415914	07/08/2017	8.52	001-175-622	8.52
1925	SAM'S STOP N SHOP	162259	MARINE-TEX	5418364	07/11/2017	16.30	001-175-622	16.30
1925	SAM'S STOP N SHOP	162260	SARDINES	5419678	07/01/2017	45.00	001-030-516	45.00
1925	SAM'S STOP N SHOP	162261	DOCKLINE	5422288	07/15/2017	26.99	001-410-516	26.99
1925	SAM'S STOP N SHOP	162262	GAS/BILGE CLNR	5431520	07/23/2017	35.75	001-175-510	22.25
							001-175-516	13.50
1925	SAM'S STOP N SHOP	162263	DISTILLED WATER	5432907	07/25/2017	33.54	403-676-516	33.54
1925	SAM'S STOP N SHOP	162264	NOTEBOOK	5433866	07/26/2017	2.09	001-175-515	2.09
			VENDOR TOTAL >>			190.69		190.69
6854	SERVICEMASTER ACTION CLEANING	162265	1 TI,ME CLEANING	122579	07/09/2017	200.00	430-682-612	200.00
			VENDOR TOTAL >>			200.00		200.00
6729	SHAZAM INTERACTIVE, LLC	162266	AUG 2017	0000042	08/01/2017	2,306.13	001-001-612	2,306.13
			VENDOR TOTAL >>			2,306.13		2,306.13
3008	SHELBY CONCRETE	162267	MARINA RD	454117	07/13/2017	528.00	001-200-620	528.00
3008	SHELBY CONCRETE	162268	SPINNAKER WAY	454203	07/21/2017	558.00	001-200-620	558.00
			VENDOR TOTAL >>			1,086.00		1,086.00
3754	SHEPPARD ELECTRIC MOTOR	162269	MOTOR	24821	07/20/2017	2,750.00	403-676-616	2,750.00
			VENDOR TOTAL >>			2,750.00		2,750.00
1930	SHERWIN-WILLIAMS	162270	PAINT/BRUSHES	9907-6	07/31/2017	189.59	001-300-616	189.59
1930	SHERWIN-WILLIAMS	162271	PAINT THINNER/BRUSH	9969-6	08/01/2017	25.59	001-030-616	25.59
1930	SHERWIN-WILLIAMS	162272	TRAY LINER/BRUSH	9970-4	08/01/2017	17.28	001-300-616	17.28
			VENDOR TOTAL >>			232.46		232.46
6543	SIMS, JANE KAY STODGHILL	162273	FITNESS	170721	07/21/2017	150.00	001-300-612	150.00
6543	SIMS, JANE KAY STODGHILL	162274	FITNESS	170728	07/28/2017	120.00	001-300-612	120.00
			VENDOR TOTAL >>			270.00		270.00
1928	SIRCHIE FINGER PRINT LABS	162275	EVIDENCE SUPPLIES	0307810-IN	07/09/2017	245.22	001-100-612	245.22
			VENDOR TOTAL >>			245.22		245.22

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
5966	SMITH, SONIA A	162276	JULY 2017	170731	07/31/2017	21.00	430-682-660	21.00
			VENDOR TOTAL >>			21.00		21.00
1370	SOUTHERN CHEVROLET	162277	250/DIAGNOSTIC	272712	07/21/2017	95.00	001-100-622	95.00
1370	SOUTHERN CHEVROLET	162278	251/SENSOR	700943	07/12/2017	31.15	001-100-622	31.15
1370	SOUTHERN CHEVROLET	162279	250/MODULE/SENSOR	701200	07/24/2017	386.59	001-100-622	386.59
			VENDOR TOTAL >>			512.74		512.74
3321	SOUTHERN LINC WIRELESS	162280	7/20--8/19/17	10399920	07/20/2017	362.34	001-001-605	75.29
							001-030-605	64.69
							001-175-605	110.91
							001-100-605	89.16
							001-200-605	22.29
			VENDOR TOTAL >>			362.34		362.34
6700	SOUTHERN RAPID CARE, LLC	162281	WIL/LOG/GIL/JOH/HAR/VI	20048	07/04/2017	620.00	001-001-612	620.00
6700	SOUTHERN RAPID CARE, LLC	162282	RUM/VAN/HOL/WIL/ROB	20049	07/18/2017	490.00	001-001-612	490.00
6700	SOUTHERN RAPID CARE, LLC	162283	7/19/17 JAIL CLINICAL	20050	07/19/2017	180.00	001-110-516	180.00
6700	SOUTHERN RAPID CARE, LLC	162284	M TATE LAB BLOOD DRAW	20051	07/19/2017	100.00	001-110-516	100.00
			VENDOR TOTAL >>			1,390.00		1,390.00
6218	SPECIALTY CONCRETE INC	162285	SIDEWALKS	1157	07/23/2017	1,024.00	001-200-620	1,024.00
			VENDOR TOTAL >>			1,024.00		1,024.00
223	SPORTS SUPPLY GROUP	162286	VESTS/BST'BALL GAME/DO	900104514	06/14/2017	1,021.45	001-300-507	540.12
							001-300-516	481.33
223	SPORTS SUPPLY GROUP	162287	RUNNER MAT	900160932	07/10/2017	401.79	411-681-516	401.79
223	SPORTS SUPPLY GROUP	162288	NET/POST SET	900168158	07/12/2017	37.78	001-300-516	37.78
			VENDOR TOTAL >>			1,461.02		1,461.02
6324	SPORTY CITRUS	162289	SEPT 2017	2017-09	08/16/2017	125.00	001-001-612	125.00
			VENDOR TOTAL >>			125.00		125.00
6756	STAPLES BUSINESS ADVANTAGE	162290	USB	8045486042	07/15/2017	27.98	411-681-515	27.98
6756	STAPLES BUSINESS ADVANTAGE	162291	PAPER/STAMP PAD	8045589840	07/22/2017	126.09	001-030-515	126.09
6756	STAPLES BUSINESS ADVANTAGE	162292	MOUSE/COVER	8045589843	07/22/2017	51.37	411-681-513	51.37
6756	STAPLES BUSINESS ADVANTAGE	162293	FLDRS/LABELS/PAPER	8045616855	07/27/2017	547.28	001-010-515	547.28
6756	STAPLES BUSINESS ADVANTAGE	162294	INK/STAPLES	8045682106	07/29/2017	188.14	001-300-516	188.14
			VENDOR TOTAL >>			940.86		940.86
1993	STERICYCLE, INC	162295	MONTHLY	4007226075	08/01/2017	246.01	001-175-612	246.01
			VENDOR TOTAL >>			246.01		246.01
2008	SUNBELT FIRE, INC.	162296	POLOS/PANTS/SHORTS	305328	07/24/2017	929.50	001-175-540	929.50
2008	SUNBELT FIRE, INC.	162297	PANTS	305622	07/14/2017	240.00	001-100-540	240.00
2008	SUNBELT FIRE, INC.	162298	SIREN MOUNTING BASE	305962	07/26/2017	219.60	001-175-618	219.60
			VENDOR TOTAL >>			1,389.10		1,389.10
6107	SUNSOUTH, LLC	162299	811/CHUTE/ARM/BLADES	2671699	07/03/2017	360.37	001-210-618	360.37
6107	SUNSOUTH, LLC	162300	1069/LIFT LINK/CHAIN L	2705315	08/02/2017	154.88	001-200-618	154.88
			VENDOR TOTAL >>			515.25		515.25



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 18

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
3290	SWEAT TIRE	162301	731/TIRES	150042	07/20/2017	1,076.00	001-200-622	1,076.00
			VENDOR TOTAL >>			1,076.00		1,076.00
2016	SWIFT SUPPLY, INC.	162302	SEE 249649	21669	06/29/2017	149.40	001-601-731	149.40
2016	SWIFT SUPPLY, INC.	162303	JT COMPOUND	247870	06/21/2017	6.99	430-682-710	6.99
2016	SWIFT SUPPLY, INC.	162304	GLUE/BOOTS	248143	06/22/2017	32.45	001-200-516	32.45
2016	SWIFT SUPPLY, INC.	162305	LUMBER/SCREWS	248158	06/22/2017	429.05	001-601-731	429.05
2016	SWIFT SUPPLY, INC.	162306	FENCE/SCREWS	248333	06/22/2017	766.66	001-601-731	766.66
2016	SWIFT SUPPLY, INC.	162307	LUMBER	248359	06/22/2017	54.00	001-601-731	54.00
2016	SWIFT SUPPLY, INC.	162308	LUMBER	249649	06/27/2017	432.00	001-601-731	432.00
2016	SWIFT SUPPLY, INC.	162309	LUMBER FOR FINANCE BLD	255689	07/13/2017	2,940.60	001-020-616	2,940.60
2016	SWIFT SUPPLY, INC.	162310	SEALANT	255836	07/14/2017	26.80	001-200-620	26.80
2016	SWIFT SUPPLY, INC.	162311	MULL CASING/FJ	256054	07/14/2017	47.52	430-682-710	47.52
2016	SWIFT SUPPLY, INC.	162312	CONCRETE MIX	257153	07/18/2017	12.87	001-200-516	12.87
2016	SWIFT SUPPLY, INC.	162313	SEALANT	257164	07/18/2017	13.40	001-200-620	13.40
2016	SWIFT SUPPLY, INC.	162314	LUMBER/NUT/WASHER	257926	07/20/2017	375.20	001-611-752	375.20
2016	SWIFT SUPPLY, INC.	162315	PLYWOOD	257954	07/20/2017	12.66	430-682-710	12.66
2016	SWIFT SUPPLY, INC.	162316	TRANSMITTER MARINE 5	258123	07/20/2017	44.24	001-175-622	44.24
2016	SWIFT SUPPLY, INC.	162317	LUMBER	258359	07/21/2017	173.88	001-611-752	173.88
2016	SWIFT SUPPLY, INC.	162318	STAPLES	258700	07/22/2017	5.68	001-100-640	5.68
2016	SWIFT SUPPLY, INC.	162319	LUMBER	258923	07/24/2017	28.28	001-001-640	28.28
2016	SWIFT SUPPLY, INC.	162320	LUMBER	258999	07/24/2017	102.25	001-300-616	102.25
2016	SWIFT SUPPLY, INC.	162321	SANDED PINE	259000	07/24/2017	22.69	430-682-710	22.69
2016	SWIFT SUPPLY, INC.	162322	BITS	259022	07/24/2017	24.68	001-200-516	24.68
2016	SWIFT SUPPLY, INC.	162323	LUMBER/REIN RODS	259391	07/25/2017	492.05	001-030-516	492.05
2016	SWIFT SUPPLY, INC.	162324	LUMBER/REIN RODS	259406	07/25/2017	984.10	001-030-516	984.10
2016	SWIFT SUPPLY, INC.	162325	BAG CLOTH	259465	07/25/2017	3.32	001-200-516	3.32
2016	SWIFT SUPPLY, INC.	162326	PILING	259919	07/26/2017	72.07	001-611-752	72.07
2016	SWIFT SUPPLY, INC.	162327	LUMBER	260024	07/26/2017	36.00	001-030-516	36.00
2016	SWIFT SUPPLY, INC.	162328	GLUE	260338	07/27/2017	5.27	001-200-516	5.27
2016	SWIFT SUPPLY, INC.	162329	LUMBER/CONCRETE MIX	260589	07/27/2017	484.00	403-676-720	484.00
2016	SWIFT SUPPLY, INC.	162330	SCREWS	260593	07/27/2017	100.75	001-030-516	100.75
2016	SWIFT SUPPLY, INC.	162331	TARPS	260730	07/28/2017	39.98	001-210-516	39.98
2016	SWIFT SUPPLY, INC.	162332	ZINC ANCHORS/LUMBER	261451	07/31/2017	220.16	001-030-516	220.16
2016	SWIFT SUPPLY, INC.	162333	SCREWS	261493	07/31/2017	27.60	001-030-516	27.60
2016	SWIFT SUPPLY, INC.	162334	HAND FLOAT/HDLE	261587	07/31/2017	54.13	001-175-616	54.13
2016	SWIFT SUPPLY, INC.	162335	BOLTS/NUTS/WASHERS/BIT	261997	08/01/2017	5.85	403-676-616	5.85
2016	SWIFT SUPPLY, INC.	162336	CONCRETE MIX	262015	08/01/2017	24.72	001-410-516	24.72
2016	SWIFT SUPPLY, INC.	162337	CONCRETE MIX	262130	08/01/2017	25.74	001-410-516	25.74
2016	SWIFT SUPPLY, INC.	162338	LUMBER	262469	08/02/2017	495.06	403-676-720	495.06
			VENDOR TOTAL >>			8,473.30		8,473.30
3492	SYSCO GULF COAST INC	162339	CONCESSIONS	174214054	07/11/2017	2,577.10	001-300-516	2,577.10
3492	SYSCO GULF COAST INC	162340	CONCESSIONS	174224004	07/22/2017	2,588.06	001-300-516	2,588.06
			VENDOR TOTAL >>			5,165.16		5,165.16
3880	TEAM ONE COMM., INC	162341	HIGH DOME BEACON	163000260	07/02/2017	890.00	001-100-507	890.00
3880	TEAM ONE COMM., INC	162342	HIGH DOME BEACONS	163000260-2	07/21/2017	890.00	001-100-622	890.00
			VENDOR TOTAL >>			1,780.00		1,780.00
6592	THE UPS STORE #5864	162343	MARGARET FLYNN-CHILVER	3196	07/19/2017	61.44	430-682-605	61.44

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 19

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	*-----DISTRIBUTION-----*			
				NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
			VENDOR TOTAL >>			61.44		61.44
6593	THINKGARD, INC	162344	AUGUST 2017	DG-2885	08/01/2017	2,899.00	001-001-612	2,899.00
			VENDOR TOTAL >>			2,899.00		2,899.00
6288	THOMLEY, BRANDY	162345	JULY 2017	170731	07/31/2017	50.40	430-682-660	50.40
			VENDOR TOTAL >>			50.40		50.40
2035	THOMPSON TRACTOR CO., INC.	162346	FIELD GENERATOR REPAIR	TTC1-029412	07/27/2017	4,786.26	403-676-616	4,786.26
			VENDOR TOTAL >>			4,786.26		4,786.26
6737	TRA-FX PUBLIC SAFETY SUPPLY	162347	POLOS	2646-2	07/20/2017	147.00	001-100-540	147.00
			VENDOR TOTAL >>			147.00		147.00
5986	TRACTOR SUPPLY CO	162348	LTHR BALL/GATE TUBE	289219	07/26/2017	294.97	001-410-620	294.97
			VENDOR TOTAL >>			294.97		294.97
2087	TRUCK EQUIPMENT SALES INC	162349	UNDER BODY BOX	P-73552	07/12/2017	325.00	404-677-507	325.00
			VENDOR TOTAL >>			325.00		325.00
6717	U.S. DEPT OF TREASURY	162350		080417	08/04/2017	12.68	001-000-104	12.68
			VENDOR TOTAL >>			12.68		12.68
2133	U.S. TENNIS ASSN	162351	#920209396 R RUSSELL	170728	07/28/2017	35.00	001-300-608	35.00
			VENDOR TOTAL >>			35.00		35.00
5068	ULINE SHIPPING SUPPLY	162352	DUSTPAN/BROOM/MOP/HLDR	88507144	07/10/2017	197.88	430-682-710	197.88
5068	ULINE SHIPPING SUPPLY	162353	ECOONO BBL	88567444	07/11/2017	301.37	430-682-516	301.37
5068	ULINE SHIPPING SUPPLY	162354	MATS	88850666	07/20/2017	256.22	430-682-710	256.22
			VENDOR TOTAL >>			755.47		755.47
2153	UNIVAR USA INC	162355	ML KONTROL	MB588895	07/26/2017	2,300.00	001-200-516	2,300.00
			VENDOR TOTAL >>			2,300.00		2,300.00
6250	US FOODS INC	162356	INMATE CONCESSIONS	744954	07/17/2017	556.67	001-110-516	556.67
6250	US FOODS INC	162357	INMATE CONCESSIONS	957897	07/24/2017	684.79	001-110-516	684.79
			VENDOR TOTAL >>			1,241.46		1,241.46
2146	USA BLUE BOOK	162358	VAC VALVES	317435	07/20/2017	1,583.12	403-676-616	1,583.12
			VENDOR TOTAL >>			1,583.12		1,583.12
5364	VERIZON WIRELESS	162359	6/19--7/18/2017	9789488247	07/18/2017	10,718.09	001-001-605	1,057.82
							001-010-605	113.54
							001-020-605	67.52
							001-030-605	1,270.25
							001-100-605	3,587.26
							001-110-605	143.55
							001-120-605	32.02
							001-175-605	748.24
							001-200-605	1,272.38
							001-210-605	734.10



CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 20

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT/DESC	*-----INVOICE-----*	NUMBER	DATE	AMOUNT	*-----DISTRIBUTION-----*	ACCT NO	AMOUNT
								001-300-605		342.08
								403-676-605		671.37
								404-677-605		193.53
								411-681-605		329.12
								430-682-605		155.31
5364	VERIZON WIRELESS	162360	6/24--7/23/2017	9789763390	07/23/2017	1,321.33		001-001-605		120.03
								001-100-605		881.06
								001-175-605		120.17
								001-200-605		40.01
								001-300-605		40.03
								001-350-605		40.01
								403-676-605		40.01
								430-682-605		40.01
			VENDOR TOTAL >>				12,039.42			12,039.42
2245	VINYL SOLUTIONS	162361	F-350 & UTV PKG	8945	05/12/2017	1,400.00		001-410-622		1,400.00
2245	VINYL SOLUTIONS	162362	MAGN SHEETING	9066	07/21/2017	120.00		001-410-516		120.00
			VENDOR TOTAL >>				1,520.00			1,520.00
2288	VULCAN, INC.	162363	SEE INV 306851	309054	06/19/2017	264.00		001-410-516		264.00
2288	VULCAN, INC.	162364	SIGNS	311168	08/01/2017	2,442.77		001-200-516		2,442.77
			VENDOR TOTAL >>				2,178.77			2,178.77
2335	WALMART COMMUNITY	162365	CAMP SUNSHINE	01778	07/24/2017	51.09		001-300-516		51.09
2335	WALMART COMMUNITY	162366	PAPER CLIPS/COOKIES	01908	07/28/2017	55.21		001-300-516		55.21
2335	WALMART COMMUNITY	162367	PAPER/ERASERS/FEBREEZE	03343	08/02/2017	67.18		001-300-516		67.18
2335	WALMART COMMUNITY	162368	CAMP SUNSHINE	05593A	07/21/2017	45.84		001-300-516		45.84
2335	WALMART COMMUNITY	162369	SWIVEL HOOKS/INDUS TAP	06079	07/28/2017	88.63		411-681-516		88.63
			VENDOR TOTAL >>				307.95			307.95
2321	WALZ GROUP, LLC	162370	CERTIFIED MAILERS	0488278-IN	07/24/2017	766.45		001-030-516		766.45
			VENDOR TOTAL >>				766.45			766.45
348	WASTE PRO-PENSACOLA	162371	JULY 2017/4400 WM SILV	0001134539	07/31/2017	6,720.00		404-677-612		6,720.00
			VENDOR TOTAL >>				6,720.00			6,720.00
6673	WATKINS, CARMEN W.	162372	FITNESS	170721	07/21/2017	60.00		001-300-612		60.00
6673	WATKINS, CARMEN W.	162373	FITNESS	170728	07/28/2017	90.00		001-300-612		90.00
			VENDOR TOTAL >>				150.00			150.00
6355	WATSON FURNITURE GROUP, INC	162374		000072213	07/10/2017	1,377.00		001-120-507		1,377.00
			VENDOR TOTAL >>				1,377.00			1,377.00
6752	WEBB'S HARDWARE	162375	LESS TAX \$0.50 SCREWS	451069	07/26/2017	5.04		001-410-516		5.04
			VENDOR TOTAL >>				5.04			5.04
3080	WEST MARINE PRO / PORT SUPPLY	162376	SONAR TRANSDUCER	02830	07/24/2017	197.98		001-175-622		197.98
3080	WEST MARINE PRO / PORT SUPPLY	162377		170701	07/01/2017	11.15		001-100-622		11.15
3080	WEST MARINE PRO / PORT SUPPLY	162378	SEA DUSTER/CHARGER/FUS	2476	07/21/2017	227.16		001-001-640		227.16
3080	WEST MARINE PRO / PORT SUPPLY	162379	SEA DUSTER/CHARGER	2498	07/21/2017	58.00		001-001-640		58.00
3080	WEST MARINE PRO / PORT SUPPLY	162380	SEA DUSTER/BILGE PUMP	2505	07/21/2017	196.72		001-001-640		196.72

CITY OF ORANGE BEACH  
PRE-CHECK AUDIT

DATE: 08/04/2017

PAGE: 21

VENDOR		DOCKET	*-----INVOICE-----*			*-----DISTRIBUTION-----*	
NUMBER	NAME	NUMBER COMMENT/DESC	NUMBER	DATE	AMOUNT	ACCT NO	AMOUNT
3080	WEST MARINE PRO / PORT SUPPLY	162381 SEA DUSTER/BILGE PUMP- 2819		07/24/2017	229.61	001-001-640	229.61
3080	WEST MARINE PRO / PORT SUPPLY	162382 BILGE PUMP/SEA DUSTER 2994		07/26/2017	144.96	001-001-640	144.96
3080	WEST MARINE PRO / PORT SUPPLY	162383 ADPTR/DECKPLATES SEA D 3233		07/28/2017	48.04	001-001-640	48.04
3080	WEST MARINE PRO / PORT SUPPLY	162384 WALKER LOGBOOK/SEA DUS 3601		08/01/2017	19.98	001-001-640	19.98
3080	WEST MARINE PRO / PORT SUPPLY	162385 ELBOW/BSHG/BARB/ SEA D 5663		07/25/2017	30.32	001-001-640	30.32
		VENDOR TOTAL >>			1,025.62		1,025.62
6009	WHARF RETAIL PROPERTIES LLC	162386 SEPT 2017	2017-9	08/16/2017	632.48	001-175-614	500.00
						001-175-635	132.48
		VENDOR TOTAL >>			632.48		632.48
5950	WILLIAMS SCOTSMAN, INC	162387 7/20--8/19/17 POLICE	99673090	07/20/2017	412.96	001-100-614	412.96
		VENDOR TOTAL >>			412.96		412.96
2388	WILSON SPORTING GOODS	162388 TENNIS RKT	4522935944	07/14/2017	102.86	001-300-660	102.86
		VENDOR TOTAL >>			102.86		102.86
5826	WINDOW DECOR & MORE LLC	162389 BLINDS/COMM CTR	8707	07/10/2017	2,381.00	001-300-516	2,381.00
		VENDOR TOTAL >>			2,381.00		2,381.00
6842	XTREME MARINE ELECTRONICS	162390 RAN CABLE/REINSTALL EL 6191		07/11/2017	2,705.47	001-100-622	2,705.47
		VENDOR TOTAL >>			2,705.47		2,705.47
		TOTAL			1,652,143.78		1,652,143.78
						001-000-000	1,156,666.26
						403-000-000	418,549.15
						404-000-000	19,386.70
						411-000-000	4,835.67
						430-000-000	52,706.00



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

Resolution approving a Conditional Use Permit for Dollar General #5705 to be located at 4225 Orange Beach Boulevard (Case No. 0105-CU-17).

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Staff Report
- ▣ Application
- ▣ Site Plan
- ▣ Color Rendering
- ▣ Broadway Group Presentation



**PLANNING & ZONING**  
COMMUNITY DEVELOPMENT DEPARTMENT  
P.O. BOX 2432  
ORANGE BEACH, ALABAMA 36561



Orange Beach City Council  
Meeting – May 16, 2017

---

**Case No. 0105-CU-17**  
**Orange Beach #5705 (Dollar General)**  
**Conditional Use Approval**

**STAFF REPORT**

**Owner/Applicant:** Hollis W. Williams Revocable Trust, Hollis Williams (Owner)  
P.O. Box 8024, Spanish Fort, AL 36577  
(770) 587-2945, [hwilliams@holliswia.com](mailto:hwilliams@holliswia.com)

The Broadway Group (Applicant)  
216 Westside Square, Huntsville, AL 35801  
(256) 533-7287, [alicia.cole@broadwaygroup.net](mailto:alicia.cole@broadwaygroup.net),  
[bob.broadway@broadwaygroup.net](mailto:bob.broadway@broadwaygroup.net),  
[deanna.hycher@broadwaygroup.net](mailto:deanna.hycher@broadwaygroup.net)

**Property Address:**  
4225 Orange Beach Blvd.

**Tax Parcels:**  
05-65-03-05-0-000-075.000  
05-65-03-05-0-000-075.001

**PPIN:**  
46259  
52939

---

**I. GENERAL INFORMATION**

**Request:** **Conditional Use Approval**

The applicant requests recommendation to City Council for conditional use approval to construct a 10,640-SF commercial retail store and make associated improvements to Rose Lane.

The subject property is zoned Neighborhood Business (NB), and grocery store, retail is a conditional use in this zoning district.

**Planning Commission:** The Planning Commission held a public hearing and considered the application at its regular meeting on Monday, May 8, 2017. The Planning Commission gave the application a **favorable recommendation** (6-3).

**Location:** The subject property is located at the southwest corner of the intersection of Orange Beach Boulevard (AL 161) and Rose Lane. The municipal address is 4225 Orange Beach Boulevard.

**Site History:**

The following actions have occurred on the subject property:

- February 2017 – The Planning Commission approved preliminary/final plat to combine two lots into a single lot. (Case No. 0104-SD-17)
- February 2017 – The applicant applied for five variances to the Board of Adjustment. Four of the five variance requests dealt with the building and site layout, while the remaining request was for a parking reduction. The Board of Adjustment denied the requests. (Case No. 0204-V-17)
- April 2017 – The applicant applied to the Board of Adjustment for a variance to reduce the required parking from 53 to 33 spaces. (Case No. 0401-V-17)

**Why is Planning Commission action required?****4.0101 Conditional Uses and Approval**

- A. Certain uses may be determined to be essential or desirable for the general convenience and welfare of the public, but may not be automatically compatible within a particular district. A use may be permitted within a district by conditional use approval when it is established through site plan review that the location, design, and proposed activity will not adversely affect the public health, safety, morals, and general welfare of the surrounding impacted area and that appropriate conditions are put into place or practice which reduce the impact of such proposed conditional use. Conditional uses shall not include the following: an increase in density, height, or maximum building coverage, or a reduction in required lot area, setbacks, street frontage or access, maximum building coverage, buffering, yards or any other provision of the zoning or other city ordinances that would otherwise apply to any use permitted by right in that district.

**B. Site Plan Requirements and Architectural Review – Procedures.**

Each application for a conditional use approval shall be accompanied by a site plan submitted in accordance with provisions of Article 10 of this Ordinance. The Planning Commission may hold a public hearing after proper notification. Upon review by the Planning Commission, it shall make one of the following recommendations to the City Council:

1. Approved as submitted;
2. Approved with changes or conditions;
3. Disapproval.

Recommendations for site plan with a conditional use and all related documents shall be forwarded to the City Clerk for consideration by the City Council in accordance with procedures established in Article 12.09, Council Public Hearing and Notice – Zoning Ordinance.

### C. Termination, Extension and Transferability

1. Conditional use approval shall terminate when any of the following occurs:
  - a. Termination of the site plan in accordance with Article 10.0310.
  - b. Transfer, lease or sale of the use permitted as a conditional use to another person, persons or other entity.
  - c. Transfer, lease, or sale of the property on which the conditional use has been granted.
  - d. Any change to the conditions or requirements on which the approval of a site plan or conditional use was approved.
  - e. Rezoning.
2. Conditional uses shall not be transferable. Conditional uses shall not be considered grandfathered under any circumstances.
3. No extensions of a conditional use site plan approval are permitted.

**Present Zoning:** NB (Neighborhood Business)

**Present Use:** Single-Family Residential

#### **Surrounding Land**

**Use and Zoning:** **North:** Vacant, NB (Neighborhood Business)  
**South:** Orange Beach Medical Arts Facility, NB (Neighborhood Business)  
**East:** Beech Mobile Home Park, MHP (Mobile Home Park)  
**West:** Single-Family Residential (Abandoned), RS-1 (Single-Family Residential)

**Special Districts:** **Overlay Zoning:** Restricted Height Overlay District  
**Airport Zone:** Precision Instrument Approach  
**Flood Zone:** X

#### **Comprehensive**

**Plan:** **Future Land Use Map:** Governmental / Single-Family Residential  
**Neighborhood District:** Gateway

**Nearby Streets:** Orange Beach Boulevard bounds the subject property on its east side, and Rose Lane borders on the north side. The project will have its driveway on Rose Lane and will make the required improvements to Rose Lane.

## II. BUILDING & SITE PLAN REVIEW

1. **Density:** Density shall conform to the requirements of Table 4.0404 of the Zoning Code.

- This application is for a commercial retail project.

2. **Impervious Coverage and Setbacks:** Building coverage and setbacks shall conform to the requirements set forth in Article 4 of the Zoning Code.



*Building Coverage:*

Zoning Requirement	Proposed
Maximum Building Coverage: 56%	Building Footprint: 10,640 SF Lot Area: 39,169 SF (0.90 acres) Maximum Building Coverage: 27%

*Building Footprint Setbacks:*

Zoning Requirement	Proposed
Front Setback: 30 feet	31.34 feet
Rear Setback: 30 feet	101.88 feet (includes 30-foot land use buffer)
North Side Setback: 10 feet	56.75 feet
South Side Setback: 10 feet	10.05 feet

**3. Parking:** Off-street parking shall conform to the off-street parking requirements set forth in Article 8 of the Zoning Code.

- On April 19, 2017, the applicant obtained a variance to Section 8.0101 of the Zoning Ordinance to reduce the required parking for the project from 53 to 33 spaces.

*Off-Street Parking:*

Zoning Requirement	Proposed
Proposed Use: Retail 1 space per 200 SF of GFA 10,640 SF / 200 SF = 53 space	33
TOTAL: 53 space	33

*Handicapped Parking:*

ADA Requirement	Proposed
33 spaces provided = 2 handicapped spaces required	2 handicapped spaces provided

*Parking Layout:*

Zoning Requirement	Proposed
If required parking is 21 or more spaces, then no more than 50% of spaces can be located between front façade and street.	The front of the building is positioned to the front of the property along Highway 161. All parking is located to the north side and rear of the proposed building.

*Driveways:*

Proposed	Jurisdiction
The project will have two driveways onto Rose Lane. The project will improve Rose Lane by increasing and paving the roadway width to 28 feet. The length of the improvements will be about 360 feet. Also, improvements will involve increasing the radius to 35 feet.	City of Orange Beach

**4. Exterior Lighting and Signage:** The size, location, design and nature of signage and the intensity and direction of exterior lighting shall conform to the guidelines set forth in Article 10 and Article 15 of the Zoning Code.

*Exterior Lighting:*

Zoning Requirement	Proposed
No adverse impact on neighboring properties and private & public right-of-ways.	Staff has asked the applicant to provide assurances that the exterior lighting be properly shielded and not have an adverse impact on the surrounding properties, particularly to the property owners to the west.
Pole Height: 26 Feet	Exterior lights will be mounted to the building. The proposed building height is about 20 feet.

*Signage:*

Zoning Requirement	Proposed
Freestanding Signs: One per entrance, no more than two.	The project will have one freestanding sign along Highway 161.
Accumulative Sign Face Area: 200 SF	140 SF
Single Sign Face Area: 100 SF	70 SF
Sign Height: 15 feet	15 feet
Sign Width: 15 feet for sign, 20 feet for structure	15 feet
Building Signage: 125 SF	97.5 SF

5. **Height Limitation:** Height limitation shall conform to the requirements set forth in Article 4 as well as the architectural standards set forth in Article 10 of the Zoning Code.

*Building Height:*

Zoning Requirement	Proposed
50 feet	19'8"

6. **Buffering:** To reduce the impacts of a use of land on adjacent uses which are of significantly different character, buffers and screening shall be required in accordance with the following provisions of Section 4.05 of the Zoning Code. The Planning Commission may reduce the buffer requirement as long as an acceptable alternative method of compliance is provided.

Zoning Requirement	Proposed
Land use buffers are required when different land uses abut one another. Whenever a proposed high impact use abuts a low impact use, the high impact use is required to provide a 30-foot land use buffer.	The property to the west of the subject property is zoned RS-1 and contains an abandoned mobile home. The project is required and is providing a 30-foot land use buffer on the west side. The vehicular use area will be 30 feet from the rear property line, and the building will have a rear setback of nearly 102 feet.

7. **Landscaping and Tree Protection:** The minimum percentage of the total developable site which shall be devoted to landscaping shall be 20% with efforts being made to maximize upland habitat preservation and incorporate existing natural vegetation within the landscape areas. Landscaping also requires compliance with the right-of-way perimeter requirement, interior planting areas and shade tree/vehicular area ratio.

Zoning Requirement	Proposed
Landscape Percentage: 20%	27%
ROW Perimeter Strip: 10-foot strip required with 1 tree per every 35 linear feet and a row of shrubs at least 3 feet in height and planted 3 feet on center.	The project has 720 feet of ROW frontage and requires 21 trees. The project will provide 18 trees and preserve 4 trees for a total of 22 trees. The project will be required to provide hedges three feet in height and planted three feet on center.
Parking Area Interior Planting Area: 1 per every 10 parking spaces	Interior planting areas are provided.
Hardwood Tree Requirement: 1 hardwood or shade tree per 1,300 SF of vehicular paved area	The landscape plan complies with the hardwood tree requirement.

- 8. Complete Streets:** “Complete Streets” are defined as the planning, designing, implementing, operating, and maintaining of roadways to reasonably address the safety and accessibility needs to users of all ages and abilities and considering the needs of motorists, pedestrians, bicyclists, transient users and vehicles, and commercial and emergency vehicles moving along and across roadways, intersections, and crossings in a manner that is sensitive to the quality of life, economic well-being, and environmental health in Orange Beach.

Zoning Requirement	Proposed
Pedestrian area/plaza for retail establishments	The project will have a pedestrian plaza in front of the store.
Connectivity between street and customer entrance	There will be a sidewalk connecting the front of the store and pedestrian plaza with the existing sidewalk along Highway 161.
Sidewalks and walkways distinguished from driving areas	All sidewalks about the building and are not situated in the parking area.

### III. STAFF COMMENTS

1. This application requires conditional use approval. The subject property is zoned NB, and Article 4 of the Zoning Ordinance specifies that the grocery store, retail use is a conditional use in the NB zoning district.
2. City Council will consider this application at its regular meeting on Tuesday, May 16, 2017.
3. The properties to the north and south are zoned NB. The Orange Beach Medical Arts facility is located on the property to the south. The property to the north is vacant. In 2007 the Planning Commission approved a site plan for a professional office building on this property.
4. The properties to the west are zoned RS-1 or Single-Family Residential. On the abutting property to the west, there is an abandoned mobile home structure. The project is required and is providing a 30-foot land use buffer along the west property line.
5. On April 19, 2017, the applicant obtained a variance from the Board of Adjustment to reduce the required parking from 53 to 33 spaces. According to the applicant, the design and layout of this Dollar General will mimic the Dollar General store located at 24881 Perdido Beach Boulevard (Avalon Lane), which also received a parking variance.

6. The project will have two driveways onto Rose Lane and will improve the said roadway by increasing and paving the road width to 28 feet. The length of the roadway improvement will be 359 feet. The improvements will also include increasing the radius to 35 feet.
7. According to the applicant, the proposed Dollar General store will replace the existing Dollar General store in the Gulf Beach Shopping Center next to the Walmart Neighborhood Market.
8. There are no outstanding issues with regard to the Building Code and Zoning Ordinance.

#### IV. CITY COUNCIL ACTION

1. **APPROVE AS SUBMITTED** the conditional use approval request to construct a 10,640-SF commercial retail store and make associated improvements to Rose Lane.
2. **APPROVE WITH CHANGES OR CONDITIONS** the conditional use approval request.

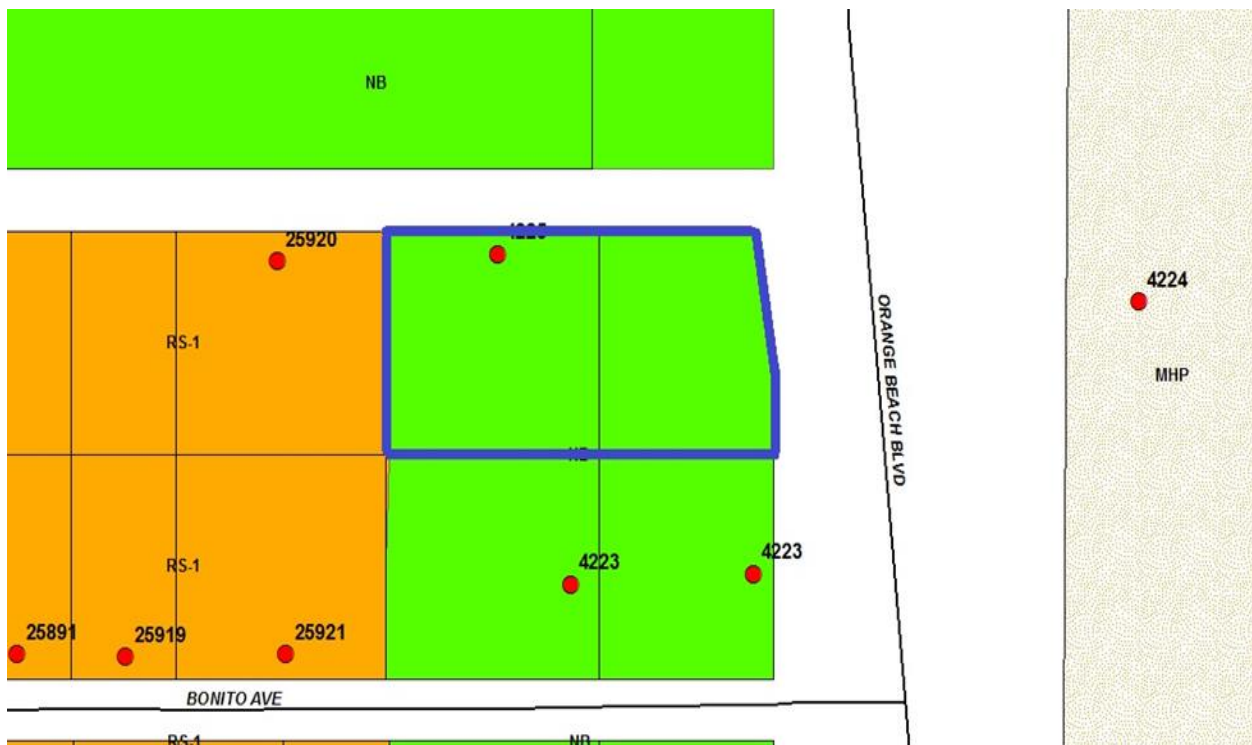
Recommended Conditions:
<ul style="list-style-type: none"> <li>• Please make sure the exterior lights to the rear side of the building are properly shielded so that the lights will not have an adverse impact on the residential properties to the west.</li> <li>• For the south side of the building facing the Medical Arts Building and its parking area, please make sure the rooftop utilities are shielded. Based on the architectural and color renderings, it does not appear there is a parapet on this side, and staff has concerns of the rooftop utilities being seen from the Medical Art's parking area and northbound traffic on Highway 161.</li> <li>• Please make sure the solid waste agency that will be collecting the store's trash is fine with the location of the trash receptacle area.</li> <li>• For the freestanding sign along Highway 161, please note the width of the sign face cannot exceed 15 feet. The Primary Pylon Sign shown on the sign plan would not meet this requirement.</li> <li>• Chuck Smith, Code Enforcement Officer and Sign Administrator, has reviewed the sign plans and has the following comments: (1) No temporary signage shall exceed 32 sq. ft. and 8 ft. in height; (2) the freestanding pole sign must have a minimum 24" pole cover and include landscaping around the base of the sign; and (3) the freestanding sign must meet all setbacks according to section 15.08 of the sign ordinance.</li> <li>• Per From Article 16.04 of the Zoning Ordinance, hedge material at least three (3) feet in height and planted a minimum of three (3) feet on center must be provided in the perimeter landscape strip Some of the submitted plant materials do not meet the minimum landscaping size requirements.</li> <li>• Per Article 16.04, D., a fully automatic, permanent irrigation system shall be installed, providing 100% coverage of all required landscape plans.</li> </ul>

- A boundary and topographic survey is required, signed and sealed by an Alabama Professional Land Surveyor.
- A note must be placed on the plans stating that no offsite runoff will be blocked by the proposed construction.
- A note is required on the plans stating that the stormwater management facility will be designed to comply with the City of Orange Beach stormwater management regulations.
- An Alabama Department of Transportation conceptual permit is required prior to consideration by the Planning Commission. Possible Alabama Department of Conservation approval is required for the stormwater management outfall pipe located to the north of the site.

3. **DISAPPROVE** the conditional use approval request.

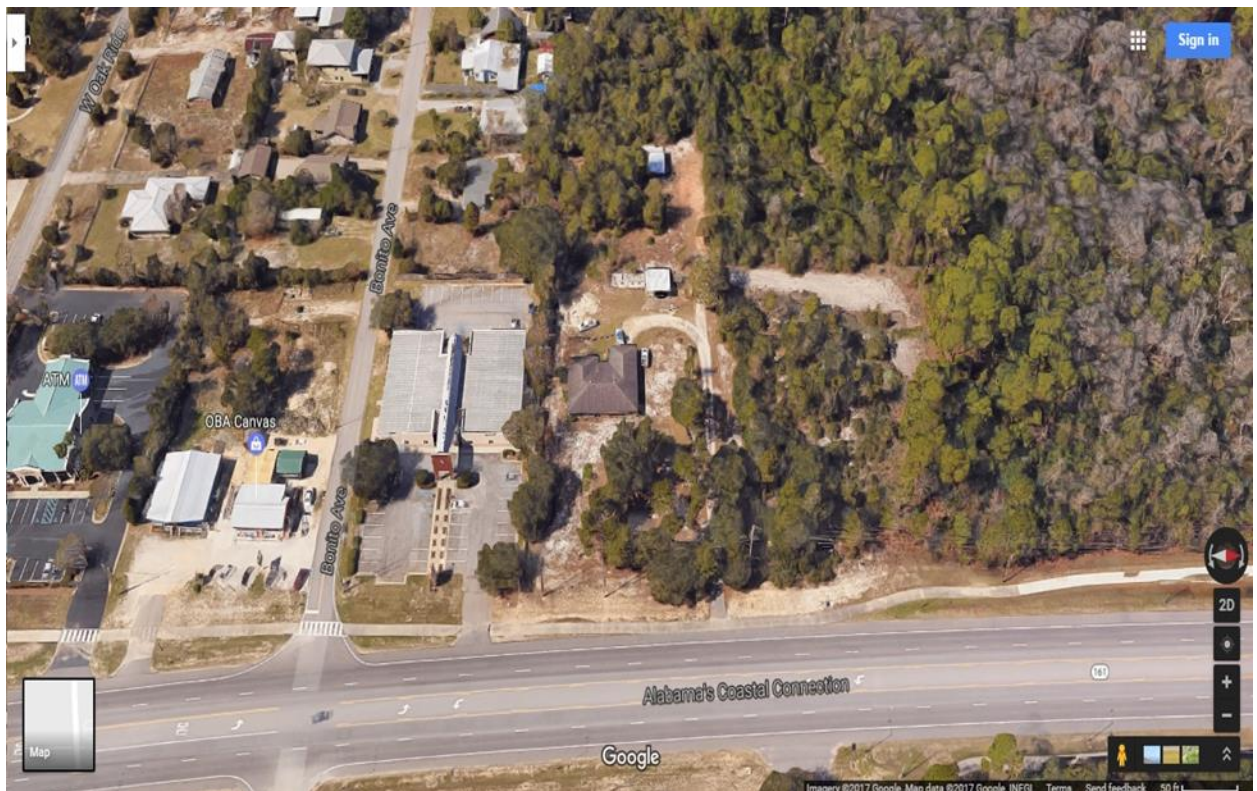
## V. MAPS & PLANS

### Zoning Map

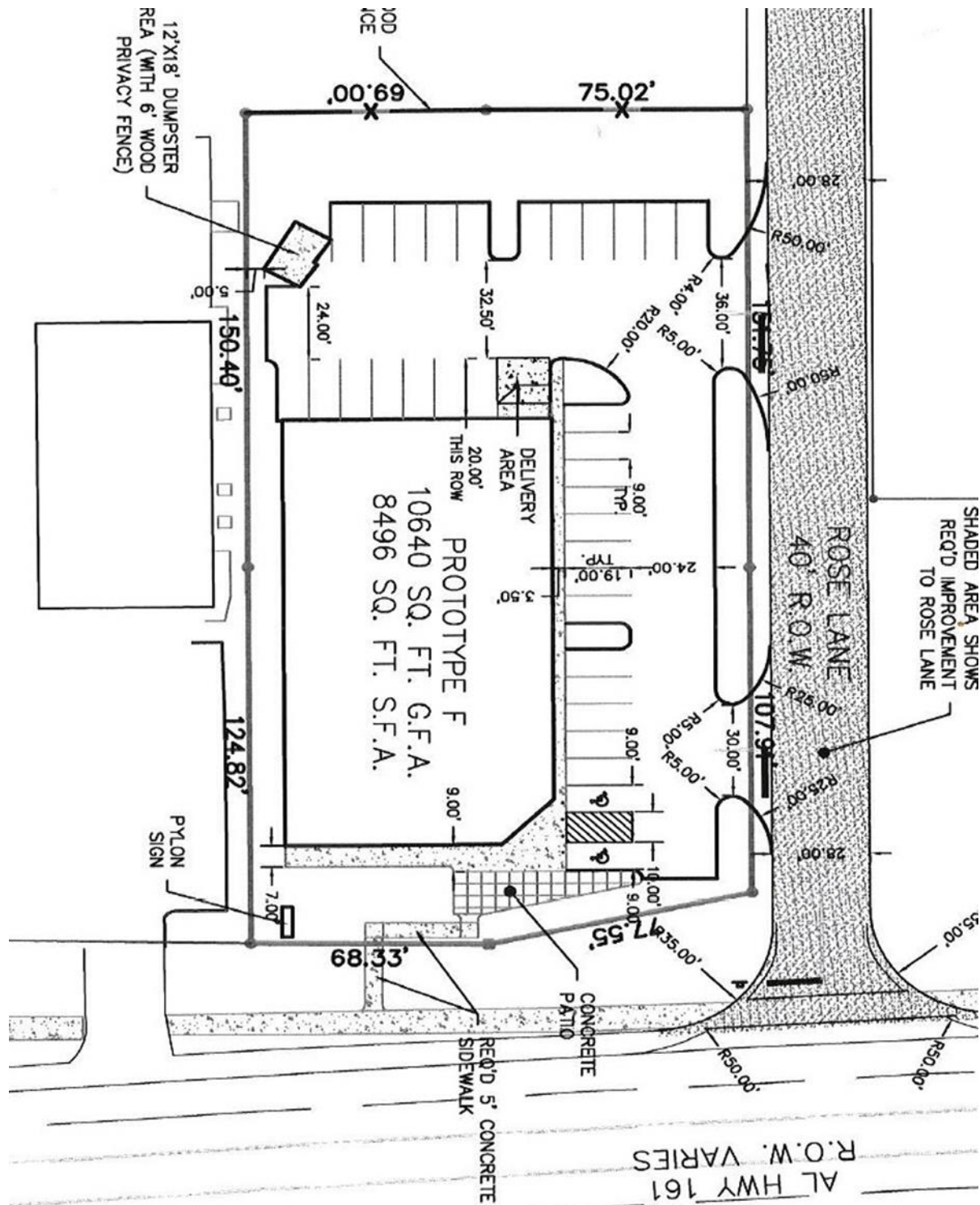




## Aerial Map



# Site Plan







RECEIVED

NOV 23 2016

O.B. COMMUNITY DEV.

City of Orange Beach

COMMUNITY DEVELOPMENT DEPARTMENT

P.O. Box 2432

Orange Beach, AL 36561

251.981.2610 Fax 251.981.3725

http://www.cityoforangebeach.com

Conditional Use Permit

## DEVELOPMENT PERMIT APPLICATION

To be completed by Community Development Department Staff

### APPLICATION DATA

Application #: 0105-CU-17

Total Fees Paid: \$250.00

Check Number: 23625

### TYPE OF APPLICATION

- ☒ Administrative Site Plan Review
- ☒ Site Plan Review - Conditional Use Approval
- ☐ Preliminary/Final Minor Subdivision Approval
- ☐ Preliminary Major Subdivision Approval
- ☐ Final Major Subdivision Approval
- ☐ Rezoning
- ☐ Preliminary PUD Approval
- ☐ Final PUD Approval
- ☐ PUD Modification
- ☐ Temporary Portable Building

### NAME OF PROJECT:

ORANGE BEACH #5705; Hwy 161 and Rose Ln.

**PROJECT DESCRIPTION:** (Provide Brief Description of Proposed Development, Subdivision, Rezoning, Portable Building, or Special Event; To include lot sizes, square footage of building coverage, number of lots, proposed land uses, number of units, number of buildings, a project narrative, etc.; if more space is needed attach a separate page)

Construction of a stand alone commercial retail  
store and the associated driveway

### PROPERTY INFORMATION:

Address: 4225 Orange Beach Blvd  
Orange Beach, AL 36561

Tax Parcel #(s): 65-03-05-0-000-075.000  
65-03-05-0-000-075.001

Existing Use: residential use/vacant

Zoning: NB PPIN #(s) 46259/52939

### APPLICANT INFORMATION:

Name: The Broadway Group Contact Person: DEANNA Hyche

Address: 216 WESTSIDE Square Huntsville, AL 35801

Phone #: (256) 533-7287 Fax #: (256) 533-7236 Email: deanna.hyche@broadwaygroup.net

### OWNER INFORMATION:

Hollis W. Williams as Trustee of the

Name: Hollis W. Williams Revocable Trust Contact Person: Hollis Williams

Address: 3855 Shallowford Rd. Ste 115 Marietta, GA 30062

Phone #: (770) 587-2945 Fax #: (678) 229-0248 Email: hwilliams@holliswia.com

Signature (Applicant): [Signature] Date: 10-5-16

Signature (Owner): Hollis W. Williams Date: 10-07-2016



0.105-CU-17  
file copy

# 76'-0" x 140'-0" 10,640 SQ. FT. PROTOTYPE "F PLUS" RELEASE 12.14.2016 ORANGE BEACH, ALABAMA STORE #5707

## GENERAL:

T1 TITLE SHEET

## CIVIL/LANDSCAPE:

## OWNER:

F1 FIXTURE PLAN

## ARCHITECTURAL:

A1 FLOOR PLAN  
A2 EXTERIOR ELEVATIONS  
A3 SECTIONS AND DETAILS  
A4 SCHEDULES  
A5 DOOR DETAILS  
A6 RESTROOM PLAN & DETAILS  
A7 SIGN DETAILS  
A8 SIGN BRACING DETAILS  
A9 REFLECTED CEILING PLAN

## STRUCTURAL:

S1 STRUCTURAL NOTES  
S2 CONCRETE POLISH PROCESS  
S3 CONCRETE POLISH PROCESS

## ELECTRICAL:

E1.1 POWER PLAN  
E1.2 REF. POWER PLAN  
E1.3 ROOF POWER PLAN  
E2 LIGHTING PLAN  
E3.1 POWER POLE DETAILS  
E3.2 REGISTER DATA ROUTING PLAN  
E5 ELECTRICAL PANELS  
E5.1 SENSOR LOCATION PLAN  
E5.2 EMS PANEL AND CONTROLS  
E5.3 EMS PANEL AND CONTROLS  
E5.1 ELECTRICAL SITE LIGHTING PLAN

## MECHANICAL:

M0 MECHANICAL SCHEDULES AND DETAILS  
M1 HVAC LAYOUT & SCHEDULE

## PLUMBING:

P0.1 PLUMBING SCHEDULE & DETAILS  
P1.1 SANITARY PLAN  
P2.1 DOMESTIC WATER & GAS PLAN

## SQUARE FOOTAGE LEGEND

TOTAL SQUARE FOOTAGE	10,640 S.F.
TOTAL LEASABLE FOOTAGE	10,640 S.F.
OVERALL BUILDING DIMENSIONS	76'-0" X 140'-0"
SALES FLOOR DIMENSIONS	74'-0" X 113'-0"
SALES AREA	8,513 S.F.
RECEIVING AREA	1,177 S.F.
BREAK RM. & OFFICE AREA	205 S.F.
REST ROOM & HALL AREA	205 S.F.
MISCELLANEOUS	540 S.F.

## NOTES:

1. BUILDING MUST COMPLY WITH ALL BUILDING (FEDERAL, STATE AND LOCAL), FIRE, ADA AND HEALTH DEPARTMENT CODES.
2. NO TAPERED COLUMNS ALLOWED.
3. MAINTAIN INTERIOR CLEAR SALES SPACE AS REQUIRED ON PLANS.

RECEIVED  
APR 25 2017

O.B. COMMUNITY DEV

ATG

Engineering Consultants  
702 E. 5th Street  
Savannah, GA 31401  
Phone 252-479-5044  
info@atgweb.com



NEW RETAIL STORE  
ORANGE BEACH, ALABAMA

PROJECT: 19.12.16

DRAWN: AUC

DATE: 4/20/2017

REVISIONS

SHEET 0153

TITLE PLAN

SHEET NO.

T1

## REQUIRED NATIONAL ACCOUNT VENDORS

COMPANY	CONTACTS	PHONE #	REQUIRED ITEMS
MC CUE CORPORATION	PRICING - BRAD ROBINSON ORDERING - BRETT JOHNSON	404-293-7758 800-800-8503	TRIM KIT INCLUDES BUMPER GUARDS AND CART STOP
YORK	NATIONAL ACCOUNTS	800-481-9738 york-dollargeneral-be@jci.com	HVAC UNITS AR, CO, IL, IN, KY, KS, MD, OH, OK, WV
CARRIER	ANDREW BROWNELL	315-432-6444 andrew.brownell@carrier-utic.com	HVAC UNITS CT, IA, MA, ME, MI, MN, ND, NE, NH, NJ, NY, PA, RI, SD, VT, WI
LENNOX	MICHAEL JOHNSTON	972-487-6864 collargeneral@lennoxind.com	HVAC UNITS AL, AZ, CA, DE, FL, GA, LA, MD, MS, NC, NM, NV, OR, SC, TN, TX, VA
ROOF CURB SYSTEMS	GREG SMYTH	800-683-5848 gsmyth@roofcurb.com	RTU CURB
CURBS PLUS INC.	ALLAN THRAILKILL	888-638-2872 allan.thrailkill@curbs-plus.com	RTU CURB
KCC INTERNATIONAL INC.	GREG CONRAD	800-382-2872 gconrad@kcccurbs.com	RTU CURB
SHERWIN WILLIAMS	LOCAL SHERWIN WILLIAMS STORE		PAINT, PRIMER, CONCRETE SEALER AND BLOCK FILLER
RECORD DOOR SYSTEMS	MICHAEL VINNIK	704-290-0234 collargeneral@recorddoors.com	MODEL: RG1175-02
STANLEY ACCESS TECHNOLOGIES	DENNIS WEBB	256-776-8502 DWebb@stanc.com	AR, AZ, CA, CO, CT, DE, IL, IA, KS, LA, MA, ME, MN, MO, ND, NE, NH, NJ, NM, NV, NY, OK, OR, RI, SD, TN, TX, VT, WI
ASSA ABLOY ENTRANCE SYSTEMS	ROSS MERKLE	609-528-2580 dollargeneral.besam.us@assaabloy.com	AL, FL, GA, MS, NC, SC, TN
DAP CUSTOM LIGHTING	NATIONAL ACCOUNT SALES	800-251-2200	CUSTOM POWER POLES
EMERSON CLIMATE TECHNOLOGIES	WEBSITE: http://dollargeneralbid.ecdsolutions.net	USER NAME: dollargeneralbid PASSWORD: dollargeneralbid	EMS SUPPLIER NOTE: CUSTOMIZED DOLLAR GENERAL EMS PANEL, REQUIRES STORE A, CITY, STATE, ZIP CODE & QTY. OF HVAC UNITS OF THE INSTALL SITE WHEN ORDERING.
EUCILD CHEMICAL COMPANY	PHIL BRANDT	877-438-3526 PBrandt@eucildchemical.com	CONCRETE POLISHING SYSTEMS
RETRO-PLATE SYSTEMS	CURTIS TURNBULL	888-942-3144 cturnbull@retroplate.com	CONCRETE POLISHING SYSTEMS
ETI	MICHAEL STRINGER	920-915-4010 DStringer@eti-llc.com	ELECTRICAL LIGHTING SUPPLIES AR, AZ, CA, IL, LA, KS, MA, MD, MS, ND, NE, NM, NV, OK, OR, SD, TN, TX, WI
LSG	MICHAEL STRINGER	920-915-4010 DStringer@eti-llc.com	ELECTRICAL LIGHTING SUPPLIES AL, CA, CT, DE, FL, GA, IN, KY, MA, MD, ME, MI, NC, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, VT, WI
CEO - CONSOLIDATED ELECTRICAL DISTRIBUTORS	ROBERT DECKER	270-781-2229 robert@cedbgky.com	ELECTRICAL SWITCH GEAR AR, AZ, CA, CO, IL, IN, LA, KS, KY, MA, MD, ME, MI, MN, MO, NE, NM, NV, OK, OR, SD, TN, TX, WI
NESCO	CHRIS TRACY	800-244-6980 collargeneral@necodelectric.com	ELECTRICAL SWITCH GEAR AL, CT, DE, FL, GA, MA, MD, ME, MI, NC, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, VT, WI
GRTMAN AND ASSOCIATES	MIKE MOYNAHAN	615-350-6000 moynehan@grtman-security.com	INTERIOR DOORS AND FRAMES AND RESTROOM ACCESSORIES AL, AR, AZ, CA, CO, FL, GA, IL, IN, KS, LA, MS, MN, MO, NE, NM, NV, OK, OR, SD, TN, TX, WI
COOK & BOARDMAN GROUP	JOE HARRELL	336-837-9673 joharrell@cookandboardman.com	INTERIOR DOORS AND FRAMES AND RESTROOM ACCESSORIES CT, DE, IL, IN, KY, MA, MD, ME, MI, NC, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, VT, WI
STANLEY CONVERGENT SECURITY SOLUTIONS	DAN GOLDSMITH	740-215-8913	INTERIOR FIRE ALARM PANELS
CROSSCOM NATIONAL	ANDREA LEMAY	847-850-6297 collargeneral@crosscomnational.com	LOW VOLTAGE & VOICE/DATA CO, CT, DE, FL, IL, IN, KS, MA, MD, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, VT, WI
ASD	CHRIS RUDNITSKI	828-624-1044 crudnitski@asd-usa.com	LOW VOLTAGE & VOICE/DATA AL, AR, AZ, CA, GA, KY, LA, MS, NC, NM, NV, OK, OR, SC, TN, TX, VA
GRAYBAR	JEROME BANNISTER	615-743-3202 office, 615-824-2130 cell Dollargeneral@graybar.com	CABLE TRAY
RAINBIRD IRRIGATION	LOCAL RAIN BIRD DISTRIBUTOR	WWW.RAINBIRD.COM	IRRIGATION SYSTEMS

## REQUIRED NATIONAL ACCOUNTS FOR ENGINEERING AND CONSTRUCTION MATERIAL TESTING

COMPANY	CONTACTS	PHONE #	
ATC ASSOCIATES, INC.	LESLIE GREENWOOD	205-733-8775 collargeneral@atcassociates.com	www.atcassociates.com
BUILDING AND EARTH SCIENCES, INC.	MATT ADAMS	205-636-6300 collargeneral@buildingandearth.com	www.buildingandearth.com
EAS PROFESSIONALS, INC.	JERRY MARRONE	864-244-7368 collargeneral@eas-pro.com	www.eas-pro.com
PROFESSIONAL SERVICE INDUSTRIES, INC. (PSI)	TERESA HEBNER	770-424-6200 #3030 teresa.hebner@psiusa.com	www.psiusa.com
TERRACON	JOHN MEADOW	770-623-0755 #353 collargeneral@terracon.com	www.terracon.com

NOTE: MATERIAL TESTING IS REQUIRED ON ALL TYPICAL NET LEASES.

## PROTOTYPE MANAGEMENT TEAM

COMPANY	CONTACTS	PHONE #	
MJM ARCHITECTS	GARY CONWAY	615-244-8170 gconway@mjmanch.com	www.mjmanch.com
ENTECH	MITCH SIMPSON	615-373-2640 msimpson@entech.com	www.entech.com

NATIONAL ACCOUNT & CONTACT INFORMATION SUBJECT TO CHANGE

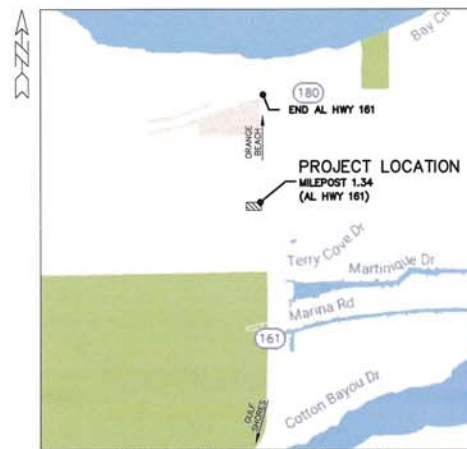
ALL DEVELOPERS MUST SUBMIT COMPLETE SIGNED-AND-SEALED ARCHITECTURAL PLANS PRIOR TO PERMITTING, AND AGAIN PRIOR TO CONSTRUCTION FOR DOLLAR GENERAL APPROVAL. SUBMIT PLANS TO: [BTSPLANS@DOLLARGENERAL.COM](mailto:BTSPLANS@DOLLARGENERAL.COM) AND IDENTIFY WHETHER THE PLANS ARE BEING SUBMITTED FOR PERMITTING RELEASE OR CONSTRUCTION RELEASE.

CIVIL DOCUMENTS WILL ALWAYS BE REQUIRED FOR APPROVAL.

ALL PROTOTYPICAL PLAN INQUIRIES TO BE DIRECTED TO THE DOLLAR GENERAL STORE DESIGN DEPARTMENT AT: [BTSPLANS@DOLLARGENERAL.COM](mailto:BTSPLANS@DOLLARGENERAL.COM)

ALL SUBMITTALS MUST INCLUDE THE ARCHITECT'S CERTIFICATION LETTER ITEMIZING ALL DEVIATIONS FROM THIS SET AND EXPLANATIONS.

# NEW RETAIL STORE AL HIGHWAY 161 ORANGE BEACH, AL BALDWIN COUNTY



VICINITY MAP SCALE: 1" = 1000'

PREPARED FOR:



**The Broadway Group**

**Commercial Real Estate Development**  
216 Westside Square • Huntsville, AL 35801  
Phone: (256) 533-7287 • Fax: (256) 533-7236

REVISIONS  
11-29-2016 INITIAL DATE  
04-21-2017 CHANGED TO CORNER STORE PROTOTYPE, MOVED  
BUILDING CLOSER TO AL 161.



**Broadway Management LLC**  
11111 Highway 161  
Orange Beach, AL 36555  
Phone: (256) 533-7287 • Fax: (256) 533-7236

JAC  
11-29-2016  
DATE: 04-21-2017  
REVISED: COVER SHEET

SHEET 1 OF 17

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY



SHEET LIST TABLE	
NUMBER	TITLE
1	COVER SHEET
2	CONSTRUCTION NOTES & LEGEND
3	DEMOLITION PLAN
4	ESPC PLAN
5	SITE PLAN
6	STORM PLAN
7	R.O.W. IMPROVEMENT PLAN
8	TEMPORARY TRAFFIC CONTROL PLAN
9	PROFILE VIEWS
10	UTILITY PLAN
11	LAYOUT PLAN
12	CONSTRUCTION DETAILS
13	STORM DETAILS
14	STORMTECH DETAILS
15	ESPC NOTES
16	ESPC DETAILS

# CONSTRUCTION NOTES

## GENERAL NOTES

1. THE CONTRACTOR IS TO PREVENT THE DESTRUCTION OF ALL SURVEY MONUMENTS, BENCH MARKS, PROPERTY CORNERS AND ALL OTHER SURVEY POINTS. WHERE THE REMOVAL OF SUCH POINTS IS NECESSARY FOR THE ACCOMPLISHMENT OF THE WORK, THE CONTRACTOR IS TO INFORM THE ENGINEER IN WRITING, PRIOR TO THE DISTURBANCE OF ANY POINT, AND IS NOT TO DISTURB THE POINT UNTIL WRITTEN PERMISSION TO DO SO HAS BEEN ISSUED BY THE ENGINEER.
2. ALL EXISTING TREES OUTSIDE OF THE LIMITS OF WORK ARE TO BE PROTECTED DURING THE ACCOMPLISHMENT OF THE WORK, AND ARE NOT TO BE DAMAGED IN ANY MANNER.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING STREET THAT IS CREATED DURING CONSTRUCTION ACTIVITIES.
4. ALL BOULDERS, DEBRIS, EXCESS CONSTRUCTION MATERIALS, MATERIAL GENERATED FROM DEMOLITION OF EXISTING STRUCTURES AND FACILITIES, OR TRASH ARE TO BE REMOVED FROM SITE AT CONTRACTOR'S EXPENSE.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY OWNERS AND DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES ON THIS PROJECT, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
6. PAVEMENT CUTS SHALL BE REPAIRED WITH ALDOT PAVING DETAIL AS SHOWN ON APPROVED PLAN.
7. ALL TRAFFIC CONTROL DEVICES SHALL BE ERECTED AND MAINTAINED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC-CONTROL DEVICES (M.U.T.C.D.), LATEST EDITION.
8. SIDEWALK RAMPS ARE TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) SPECIFICATIONS.
9. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
10. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
11. THE STORM DRAINAGE SYSTEM FOR THIS SITE HAS BEEN DESIGNED FOR A 25-YEAR STORM EVENT, UNLESS OTHERWISE INDICATED. WITH REGARD TO THE SYSTEM CAPACITY, NO WARRANTY IS EXPRESSED OR IMPLIED FOR STORMS OF GREATER INTENSITY.

## EARTHWORK GENERAL NOTES

1. SITE TOPOGRAPHY MAPS AND OTHER TOPOGRAPHIC DATA SHOWN ON THE PLANS OR INCLUDED IN THE SPECIFICATIONS ARE FOR THE INFORMATION OF THE CONTRACTOR. THE CONTRACTOR SHALL MAKE SUCH ADDITIONAL INVESTIGATIONS AS REQUIRED TO ACQUAINT HIMSELF ADEQUATELY WITH THE SITE TOPOGRAPHY, AND THE SUBSURFACE SOIL CONDITIONS FOR PREPARATION OF HIS BID, AND FOR THE SUCCESSFUL EXECUTION OF THE WORK.
2. ALL PROPOSED CONTOUR ELEVATIONS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
3. PROTECTION OF WORK: THE CONTRACTOR IS TO BE SOLELY RESPONSIBLE FOR THE PROTECTION OF HIS WORK. SUCH GRADING IS THE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER MAY DIRECT THE CONTRACTOR TO PERFORM NECESSARY GRADING AND DRAINAGE TO PREVENT SURFACE RUN OFF FROM DAMAGING THE WORK.
4. ALL EARTH FILL SHALL BE COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY, PLUS OR MINUS 2% OF OPTIMUM MOISTURE (ASTM-D6798), EXCEPT FOR EARTH FILLS UNDER PAVEMENT WHICH ARE TO COMPLY WITH PAVING SPECIFICATIONS.
5. EARTH FILL SHALL BE PLACED IN UNIFORM LAYERS OR LIFTS NOT EXCEEDING 6" COMPACTED THICKNESS.
6. EARTH FILL SHALL BE PLACED IN ACCORDANCE WITH SECTION 210 OF THE 2012 ALDOT STANDARD SPECIFICATIONS. EARTH FILL UNDER BUILDINGS SHALL ALSO MEET THE REQUIREMENTS OF THE ARCHITECT'S PLANS AND SPECIFICATIONS.

LEGEND OF MEASURES FOR EROSION & SEDIMENT CONTROL AND STORMWATER MANAGEMENT			
CEP	CONSTRUCTION EXIT PAD	LS	LAND SWALE
LG	LAND GRADING	OP	OUTLET PROTECTION
TSG	TOPSOILING	RS	RIPRAP-LINED SWALE
CHS	CHEMICAL STABILIZATION	SD	SUBSURFACE DRAIN
DSF	DUNE SAND FENCE	TSD	TEMPORARY SLOPE DRAIN
DVP	DUNE VEGETATION PLANTING	BP	BLOCK AND GRAVEL INLET PROTECTION
DR	DUNE WALKOVER	BFB	BRUSH/FABRIC BARRIER
DC	DUST CONTROL	FIP	FABRIC DROP INLET PROTECTION
ECB	EROSION CONTROL BLANKET	FS	FILTER STRIP
OK	GRASSKEEPING	FB	FLOATING TURBOITY BARRIER
MU	MULCHING	RD	ROCK FILTER DAM
PS	PERMANENT SEEDING	SB	SEDIMENT BARRIER
PV	PRESERVATION OF VEGETATION	SDN	SEDIMENT BASIN
RW	RETAINING WALL	SST	STRAW BALE SEDIMENT TRAP
SVS	SHRUB, VINE, AND GROUNDCOVER	BA	BORNTENTION AREA
SOD	SOODING	PP	POROUS PAVEMENT
TS	TEMPORARY SEEDING	SDB	STORMWATER DETENTION BASIN
TP	TREE PLANTING ON DISTURBED AREAS	BZ	BUFFER ZONE
CD	CHECK DAM	CS	CHANNEL STABILIZATION
DV	DIVERSION	SDC	STREAM DIVERSION CHANNEL
DS	DROP STRUCTURE	SP	STREAMBANK PROTECTION
GS	GRASS SWALE	TSC	TEMPORARY STREAM CROSSING

LEGEND			
R.O.N.	RIGHT OF WAY	BC	BACK OF CURB
E	CENTERLINE	FL	FLOW LINE
EDP	EDGE OF PAVEMENT	INV.	INVERT
IFP	IRON PIN FOUND	SAH	SANITARY
CMF	CONCRETE WORKMENT FOUND	MH	MANHOLE
M.B.L.	MINIMUM BUILDING LINE	C.O.	CLEAN OUT
TPV	TYPICAL	ARV	AIR RELEASE VALVE
EG	EXISTING GRADE	ROP	REINFORCED CONCRETE PIPE
FG	FINISHED GRADE	CMF	CORRUGATED METAL PIPE
F.F.E.	FINISHED FLOOR ELEVATION	HDP	HIGH-DENSITY POLYETHYLENE
TS	TOP OF SIDEWALK	PVC	POLYVINYL CHLORIDE
TP	TOP OF PAVEMENT	CONC.	CONCRETE
---	EXISTING CONTOURS	---	PROPOSED CONTOURS
---	WATER LINE	---	WATER METER
---	FIBER OPTIC LINE	---	FIBER OPTIC PEDESTAL
---	UNDERGROUND GAS LINE	---	UNDERGROUND GAS VALVE
---	OVERHEAD ELECTRIC LINE	---	UNDERGROUND ELECTRIC LINE
---	UTILITY POLE	---	LIGHT POLE
---	GUY WIRE	---	ROAD SIGN



DRAWN BY: JAC  
 DATE: 11-29-2016  
 REVISED: 04-21-2017  
 CONSTRUCTION NOTES & LEGEND  
 SHEET 2 OF 17

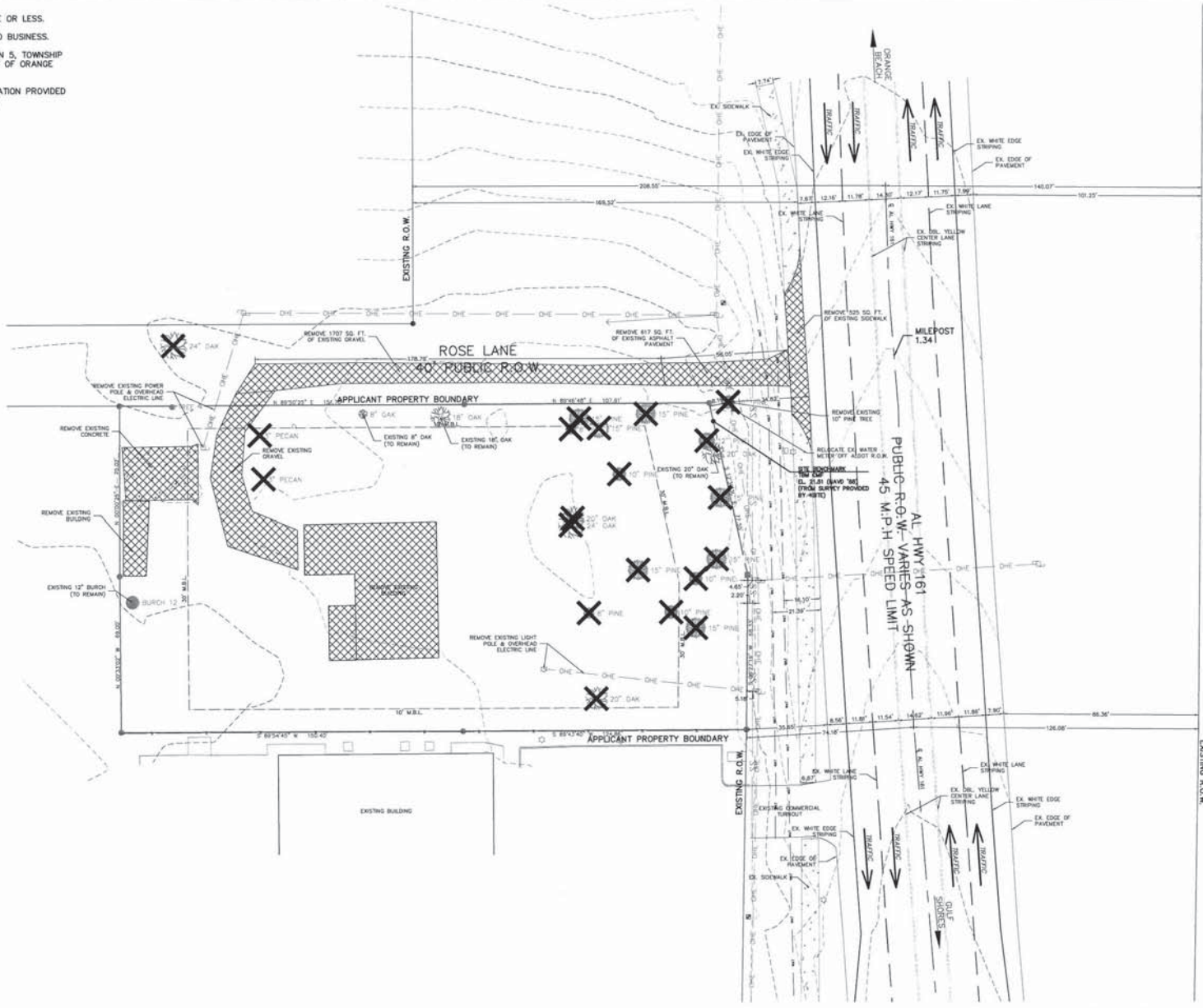
NEW RETAIL STORE  
 AL HIGHWAY 161  
 ORANGE BEACH, AL  
 BALDWIN COUNTY





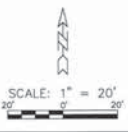
**NOTES**

1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.



DRAWN BY:	JAC
DATE:	11-29-2016
REVISED:	04-21-2017
DEMOLITION PLAN	
SHEET 3 OF 17	

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY



# NOTES

1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.

# GENERAL STABILIZATION NOTES

1. TEMPORARY STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER WORK TOWARD PROJECT COMPLETION AND FINAL STABILIZATION OF ANY PORTION OF THE SITE HAS TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS.
2. FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE.
3. SLOPES STEEPER THAN 15% (APPROXIMATELY 7:1 H:V) ARE TO BE STABILIZED IMMEDIATELY AFTER COMPLETION TO PREVENT EROSION OF THESE STEEP SLOPES. TEMPORARY SEEDING WITH MULCHING IS TO BE USED FOR THIS STABILIZATION. PERMANENT STABILIZATION WITH SOOING MAY BE USED WITH PEGS OR STAPLES IF THESE AREAS WILL NOT BE DISTURBED BY FURTHER CONSTRUCTION ACTIVITIES.

# NATURE OF CONSTRUCTION ACTIVITY

PRECONSTRUCTION CONDITIONS: THE SITE IS A 0.90 ACRE PIECE OF PROPERTY LOCATED AT THE SOUTHWEST CORNER OF AL HWY 161 AND ROSE LANE, IN THE CITY OF ORANGE BEACH, ALABAMA. THERE IS AN EXISTING SINGLE STORY BRICK BUILDING WITH A GRAVEL DRIVEWAY ON SITE. THE REMAINING PORTION OF THE SITE IS CLASSIFIED WITH A FEW TREES. EXISTING ON-SITE SOILS ARE CLASSIFIED AS LAKEWOOD SAND, HYDROLOGIC SOIL GROUP A. THE EAST HALF OF THE LOT SLOPES TO THE AL HWY 161 R.O.W. AT ABOUT 2.4% FROM THERE, DRAINAGE FLOWS NORTH IN THE AL HWY 161 R.O.W. TO A FORESTED WETLAND AREA JUST NORTH OF THE SITE. THE WEST HALF OF THE SITE SLOPES TO THE WEST AT ABOUT 1.5% FROM THERE, DRAINAGE MAKES ITS WAY NORTH TO THE FORESTED WETLAND NORTH OF THE SITE. DRAINAGE TO THE FORESTED WETLAND WILL INFILTRATE INTO THE GROUND, OR ULTIMATELY DRAIN TO TERRY CREEK, APPROXIMATELY 1.2 MILES EAST OF THE SITE.

POSTCONSTRUCTION CONDITIONS: THIS PROJECT CONSISTS OF CONSTRUCTING A 10640 SQ.FT. RETAIL STORE WITH A 33-SPACE PARKING LOT AND TRUCK DELIVERY AREA. THE REMAINING AREAS WILL BE LANDSCAPED WITH TREES, SHRUBS, MULCH, AND SOIL. THE PARKING AND TRUCK DELIVERY AREAS WILL BE SLOPED TO DRAIN TO THE DOUBLE RING INLETS IN THE PARKING LOT. THESE INLETS WILL BE CONNECTED VIA HOPE PIPE THAT WILL CONVEY DRAINAGE TO THE UNDERGROUND DETENTION CHAMBERS LOCATED BENEATH THE PARKING AREA. ROOF DRAINAGE WILL BE CONNECTED TO AN HOPE PIPE THAT WILL ALSO CONVEY DRAINAGE TO THE UNDERGROUND CHAMBERS. PROPOSED SLOPES OF THE PARKING LOT RANGE FROM 1.0% TO 3.0%.

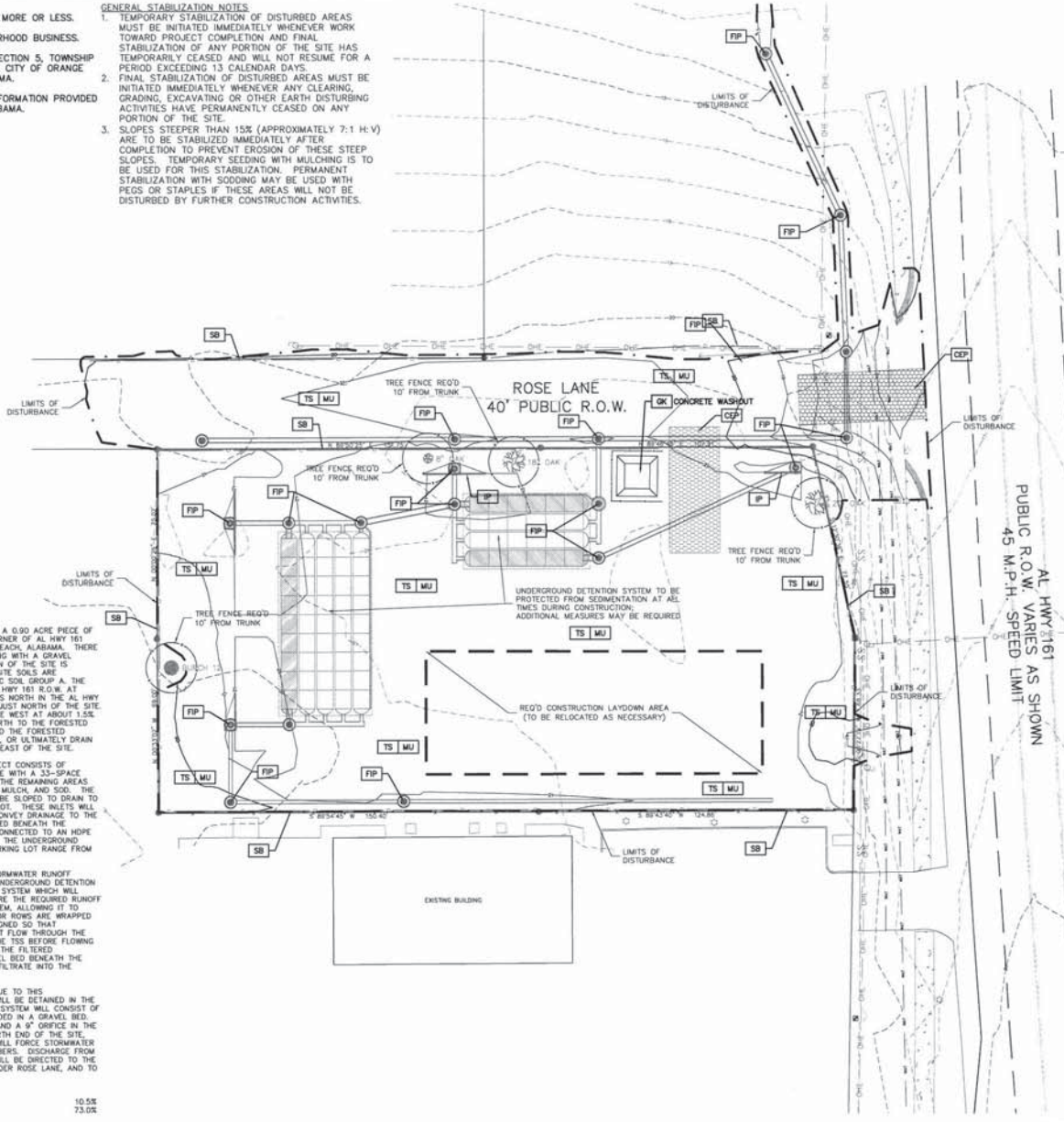
IN ORDER TO TREAT THE FIRST INCH OF STORMWATER RUNOFF GENERATED FROM THE DEVELOPMENT, THE UNDERGROUND DETENTION CHAMBERS WILL INCLUDE AN ISOLATOR ROW SYSTEM WHICH WILL REMOVE 80% OF THE TSS, AS WELL AS STORE THE REQUIRED RUNOFF VOLUME BENEATH THE OUTLET OF THE SYSTEM, ALLOWING IT TO INFILTRATE INTO THE GROUND. THE ISOLATOR ROWS ARE WRAPPED IN FILTER FABRIC, AND THE SYSTEM IS DESIGNED SO THAT STORMWATER ENTERING THE CHAMBERS MUST FLOW THROUGH THE ISOLATOR ROWS FIRST, FILTERING 80% OF THE TSS BEFORE FLOWING DOWNWARD AND FILLING THE GRAVEL BED. THE FILTERED STORMWATER WILL BE STORED IN THE GRAVEL BED BENEATH THE OUTLET OF THE SYSTEM, ALLOWING IT TO INFILTRATE INTO THE GROUND.

TO CONTROL THE INCREASED DISCHARGES DUE TO THIS DEVELOPMENT, THE ON-SITE STORMWATER WILL BE DETAINED IN THE UNDERGROUND DETENTION CHAMBERS. THE SYSTEM WILL CONSIST OF 69 STORMTECH MC-2500 CHAMBERS EMBEDDED IN A GRAVEL BED. THE OUTFLOW WILL BE CONTROLLED BY 2" AND A 8" ORIFICE IN THE OUTLET CONTROL BOX LOCATED AT THE NORTH END OF THE SITE NEAR THE EAST DRIVEWAY. THE ORIFICES WILL FORCE STORMWATER TO BACK UP AND BE STORED IN THE CHAMBERS. DISCHARGE FROM THE UNDERGROUND DETENTION CHAMBERS WILL BE DIRECTED TO THE NORTH VIA REINFORCED CONCRETE PIPE, UNDER ROSE LANE, AND TO THE FORESTED WETLAND AREA.

# SITE ESTIMATES

PRECONSTRUCTION IMPERVIOUS AREA: 10.5%

POSTCONSTRUCTION IMPERVIOUS AREA: 73.0%



# EROSION CONTROL IMPLEMENTATION SCHEDULE

## INITIAL PHASE

1. INSTALL CONSTRUCTION EXIT PAD (CEP) AND TYPE "A" SILT FENCE (SB).
2. DEMOLISH EXISTING STRUCTURES, STRIP AND STOCKPILE TOPSOIL, AND REMOVE UNSUITABLE MATERIAL.
3. TEMPORARY SEEDING (TS) TO BE INSTALLED ON AREAS WHERE GRADING AND STABILIZATION OPERATIONS HAVE CEASED AND WILL NOT RESUME FOR 13 DAYS.

## INTERMEDIATE PHASE

1. BEGIN MASS GRADING SITE. CONSTRUCTION EXIT PAD (CEP), TYPE "A" SILT FENCE (SB), AND TEMPORARY SEEDING (TS) TO REMAIN AND TO BE MAINTAINED AS NEEDED AS GRADING PROGRESSES.
2. INSTALL UNDERGROUND DETENTION CHAMBERS, PROTECTING SYSTEM FROM SEDIMENTATION AT ALL TIMES.
3. INSTALL UTILITIES (STORM, SANITARY, WATER, ELECTRIC).
4. CONCRETE WASHOUT (CW) TO BE ESTABLISHED AND MAINTAINED ONCE CONCRETE POURING BEGINS.
5. PROTECT INLETS WITH FABRIC DROP INLET PROTECTION (FIP) AFTER INSTALLATION OF BOXES. REMOVE AFTER INSTALLATION OF LID AND INLETS ARE TO BE PROTECTED WITH INLET FILTERS AS SHOWN.

## FINAL PHASE

1. MAINTAIN CONSTRUCTION EXIT PAD (CEP), TYPE "A" SILT FENCE (SB), AND TEMPORARY SEEDING (TS) AS SITE GRADING PROGRESSES.
2. GRADE PARKING LOT AND CONSTRUCT BUILDING PAD, BASE, PAVING AND BUILDING TO BE INSTALLED AFTER UTILITY CONSTRUCTION IS COMPLETED.
3. INSTALL SOO ON AREAS INDICATED AS SOON AS PRACTICABLE. APPROPRIATE PLANT MATERIAL SHALL BE INSTALLED AREA BY AREA AS SITE WORK PERMITS.
4. CLEAN STORM STRUCTURES. INSTALL ANY REMAINING PERMANENT BMP.
5. DEMOLISH ALL STRUCTURAL BMP'S AND SAFELY DISPOSE OF MATERIAL. MAINTAIN TYPE "A" SILT FENCE (SB) UNTIL VEGETATION HAS ACHIEVED 100% COVERAGE ACROSS SITE WITH 85% DENSITY, THEN REMOVE.



Breakway Management LLC  
718 Breakway Square - Nashville, TN 37203  
Phone: 615.255.1234 Fax: 615.255.1235

JAC  
11-29-2016  
DATE: 04-21-2017  
REVISION:  
ESP PLAN  
SHEET 4 OF 17



NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY

SCALE: 1" = 20'  
20' 0' 20'

SITE INFORMATION			
FACILITY NAME	ORANGE BEACH (AL HWY 161) NEW RETAIL STORE		
FRONT GATE COORDINATES	30.186659, -87.581931		
TOTAL DEVELOPMENT AREA	1.31 ACRES		
TOTAL DISTURBED AREA	1.18 ACRES		
RECEIVING WATER	DISCHARGE COORDINATES	CLASSIFICATION	
TERRY CREEK	30.289961, -87.581577	F&W	



# NOTES

1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.

## FLOOD ZONE NOTES

1. THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X" (OUT-UNSHADED).
2. ZONE "X" (OUT-UNSHADED) DENOTES AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
3. PROPERTY SHOWN ON FIRM PANEL 01003C0962L, REVISED JULY 17, 2007.

## PARKING LOT CONSTRUCTION NOTES

1. HEAVY DUTY PAVEMENT (PER APPROPRIATE DETAIL SHOWN ON CONSTRUCTION DETAILS) TO BE USED IN DRIVEWAYS, ACCESS AISLES, AND VEHICULAR PARKING STALLS.
2. 6" CONCRETE CURB REQUIRED AS SHOWN AT EDGE OF PARKING STALLS TO PROTECT PERIMETER LANDSCAPING.

## SITE PLAN DATA TABLE

### REQ'D BY ZONING:

CURRENT ZONING: NB  
LOT SIZE: 20,000 SQ. FT. MIN.  
LOT WIDTH: 100' AT FRONT SETBACK

### PER DRAWINGS:

SETBACKS: FRONT: 30'  
REAR: 30'  
SIDE: 10'  
LOCAL RD: 10'

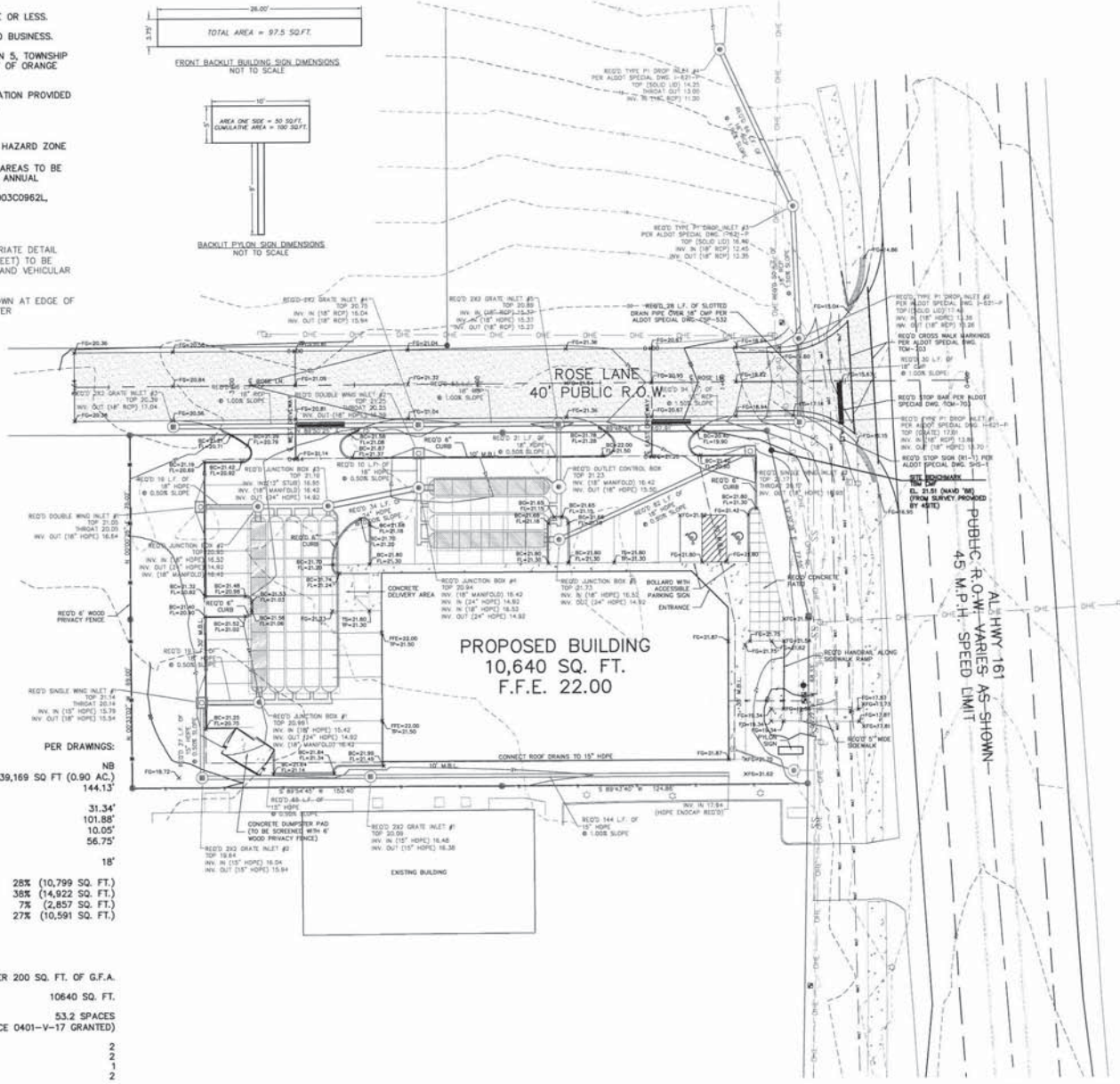
BUILDING HEIGHT: 20 STORIES  
BUILDING COVERAGE: 56% MAX  
PARKING AREA COVERAGE: 35%  
OTHER IMPERVIOUS SURFACES: 7%  
LANDSCAPE/OPEN AREA: 27%

## PARKING REQUIREMENTS

RETAIL STORE: 1 SPACE PER 200 SQ. FT. OF G.F.A.  
G.F.A. PROVIDED: 10640 SQ. FT.

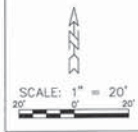
REQUIRED SPACES: 53.2 SPACES  
PROVIDED SPACES: 33 SPACES (VARIANCE 0401-V-17 GRANTED)

ADA REQUIRED HANDICAP SPACES: 2  
PROVIDED HANDICAP SPACES: 2  
REQUIRED VAN ACCESSIBLE SPACES: 1  
PROVIDED VAN ACCESSIBLE SPACES: 2



JAC	11-29-2016
DATE	04-21-2017
REVISION	
SHEET	5 OF 17

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY



SITE QUANTITIES	
BUILDING SLAB	10799 SQ. FT.
BUILDING SIDEWALKS	1382 SQ. FT.
ON-SITE PAVEMENT	14922 SQ. FT.
DELIVERY/DUMPSTER AREA	441 SQ. FT.
6" CURB	582 LIN. FT.
PATIO AREA	539 SQ. FT.
STREET SIDEWALK	214 SQ. FT.
R.O.W. QUANTITIES	
DRIVEWAY PAVEMENT	659 SQ. FT.
ROSE LANE PAVEMENT	9815 SQ. FT.
STREET SIDEWALK	115 SQ. FT.

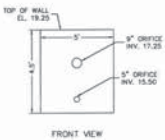
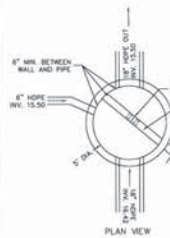
ENGINEER'S OPINION OF EARTHWORK  
CUT: 800 CU. YD.  
FILL: 0 CU. YD.  
NET: 800 CU. YD. CUT  
NOTE: VOLUMES DO NOT ACCOUNT FOR SHRINK/SWELL, BUILDING EXCAVATION, REMOVAL OF UNDESIRABLE MATERIAL, UTILITY INSTALLATION, ETC.  
\* ADJUSTED TO INCLUDE AN ESTIMATED TYPICAL REPLACEMENT VOLUME OF 100 CU. YD. DRAINED ON 1" OF TOPSOIL, ACROSS FULL AREAS OF SITE AS DETERMINED BY GEOLOGICAL REPORTS.

# NOTES

1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.

## FLOOD ZONE NOTES

1. THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X" (OUT-UNSHADED).
2. ZONE "X" (OUT-UNSHADED) DENOTES AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
3. PROPERTY SHOWN ON FIRM PANEL 01003C0962L, REVISED JULY 17, 2007.

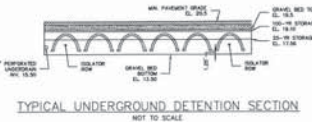


OUTLET CONTROL BOX DETAILS  
NOT TO SCALE

PRECONSTRUCTION SITE DISCHARGE		POSTCONSTRUCTION SITE DISCHARGE	
EVENT	DISCHARGE (CFS)	EVENT	DISCHARGE (CFS)
10-yr	1.89	10-yr	1.60
25-yr	3.25	25-yr	2.72
50-yr	4.54	50-yr	3.95
100-yr	6.05	100-yr	5.33

UNDERGROUND DETENTION SUMMARY					
EVENT	INFLOW (CFS)	OUTFLOW (CFS)	DISCARDED (CFS)	PRIMARY (FEET)	ELEVATION (FEET)
10-yr	6.54	0.93	0.31	0.62	7359
25-yr	8.40	1.52	0.31	1.21	7580
50-yr	10.01	2.84	0.31	2.53	7813
100-yr	11.79	4.10	0.31	3.79	8050

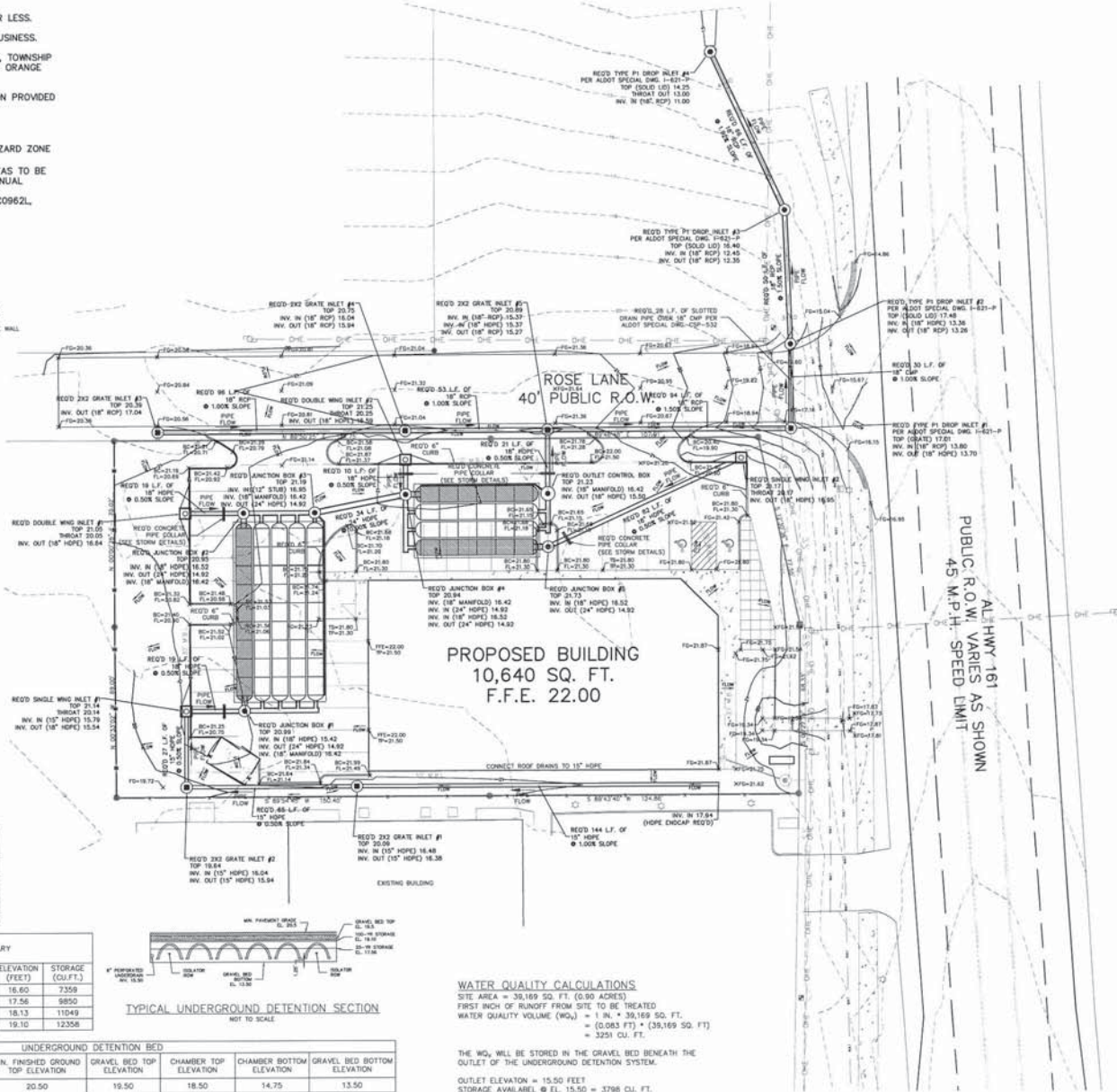
UNDERGROUND DETENTION BED					
UNDERGROUND STORMWATER DETENTION CHAMBERS	TOTAL STORAGE VOLUME	MIN. FINISHED GROUND ELEVATION	GRAVEL BED TOP ELEVATION	CHAMBER TOP ELEVATION	CHAMBER BOTTOM ELEVATION
69 - STORMTECH MC-3500	13506 C.F.	20.50	19.50	18.50	14.75



## WATER QUALITY CALCULATIONS

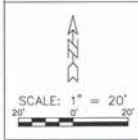
SITE AREA = 39,169 SQ. FT. (0.90 ACRES)  
FIRST INCH OF RUNOFF FROM SITE TO BE TREATED  
WATER QUALITY VOLUME (WQV) = 1 IN. \* 39,169 SQ. FT.  
= (0.083 FT) \* (39,169 SQ. FT.)  
= 3251 CU. FT.

THE WQV WILL BE STORED IN THE GRAVEL BED BENEATH THE OUTLET OF THE UNDERGROUND DETENTION SYSTEM.  
OUTLET ELEVATION = 15.50 FEET  
STORAGE AVAILABLE @ EL. 15.50 = 3798 CU. FT.



DESIGNED BY:	JAC
DRAWN BY:	11-29-2016
DATE:	04-21-2017
REVISED:	
TITLE:	STORM PLAN
SHEET:	6 OF 17

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY





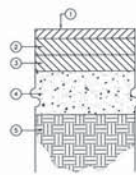
- NOTES**
1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
  2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
  3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
  4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.

- 6.6.W. PERMIT SPECIAL NOTES**
1. ALL NEW PAVEMENT SHALL BE SUBMITTED FOR ADJUST R.O.W.-OF-WALL.
  2. ALL MANHOLES, VALVE BOXES AND HAND HOLES SHOULD BE MOUNTED FLUSH WITH FINISHED GRADE.
  3. CONTACT DISTRICT ADMINISTRATOR 48-10000-0000 TO BEGINNING WORK ON ADJUST R.O.W.-OF-WALL.
  4. PROJECT: BALDWIN COUNTY 48-10000-0000 COORDINATOR UPON COMPLETION OF PERMITTED WORK TO EVALUATE PUNCH LIST FOR COMPLETION OF PROJECT.
  5. IF ANYTHING, THE BOND ASSIGNED WITH THE PERMIT WILL BE VOID FOR THE FULL YEAR AFTER THE WORK IS COMPLETED AND ACCEPTED BY THE DISTRICT ADMINISTRATOR.
  6. ALL TRAFFIC CONTROL DEVICES SHALL BE CONFORMANCE WITH THAT OF THE ALABAMA UNIFORM TRAFFIC CONTROL DEVICES (2008 EDITION). IF PROJECT REQUIRES LANE CLOSURE, LANE CLOSURES MUST BE MADE PART OF THE PERMIT.
  7. DOWNS REPRESENTATIVE & CONTACT INFORMATION: (SEE LANE CLOSURE SCHEDULE)
  8. **ADDITIONAL NOTES:**
    - (1) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (2) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (3) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (4) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (5) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (6) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (7) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (8) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (9) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (10) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (11) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (12) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (13) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (14) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (15) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (16) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (17) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (18) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (19) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (20) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (21) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (22) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (23) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (24) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (25) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (26) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (27) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (28) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (29) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (30) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (31) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (32) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (33) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (34) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (35) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (36) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (37) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (38) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (39) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (40) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (41) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (42) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (43) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (44) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (45) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (46) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (47) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (48) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (49) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (50) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (51) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (52) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (53) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (54) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (55) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (56) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (57) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (58) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (59) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (60) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (61) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (62) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (63) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (64) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (65) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (66) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (67) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (68) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (69) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (70) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (71) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (72) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (73) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (74) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (75) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (76) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (77) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (78) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (79) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (80) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (81) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (82) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (83) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (84) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (85) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (86) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (87) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (88) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (89) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (90) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (91) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (92) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (93) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (94) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (95) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (96) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (97) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (98) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (99) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES
    - (100) APPROVED PERMIT WILL HAVE ON HAND AT ALL TIMES

- 6.6.W. PERMIT NOTES**
1. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  2. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  3. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  4. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  5. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  6. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  7. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  8. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  9. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  10. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  11. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  12. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  13. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  14. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  15. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  16. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  17. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  18. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  19. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  20. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  21. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  22. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  23. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  24. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  25. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  26. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  27. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  28. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  29. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  30. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  31. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  32. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  33. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  34. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  35. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  36. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  37. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  38. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  39. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  40. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  41. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  42. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  43. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  44. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  45. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  46. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  47. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  48. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  49. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  50. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  51. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  52. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  53. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  54. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  55. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  56. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  57. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  58. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  59. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  60. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  61. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  62. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  63. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  64. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  65. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  66. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  67. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  68. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  69. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  70. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  71. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  72. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  73. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  74. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  75. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  76. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  77. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  78. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  79. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  80. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  81. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  82. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  83. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  84. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  85. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  86. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  87. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  88. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  89. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  90. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  91. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  92. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  93. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  94. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  95. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  96. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  97. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  98. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  99. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.
  100. ALL PAVEMENT SURFACES SHALL BE CLASS 3 TYPE A.

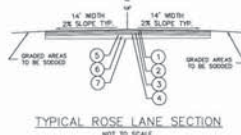
**DISTURBED AREA**  
ON R.O.W. = 0.26 ACRES  
OFF R.O.W. = 0.90 ACRES  
TOTAL = 1.16 ACRES  
(SEE SHEET 4 FOR ESPC PLAN)

PRECONSTRUCTION SITE DISCHARGE		POSTCONSTRUCTION SITE DISCHARGE	
EVENT	DISCHARGE (CFS)	EVENT	DISCHARGE (CFS)
10-y	1.89	10-y	1.60
25-y	3.25	25-y	2.72
50-y	4.54	50-y	3.55
100-y	6.05	100-y	5.33

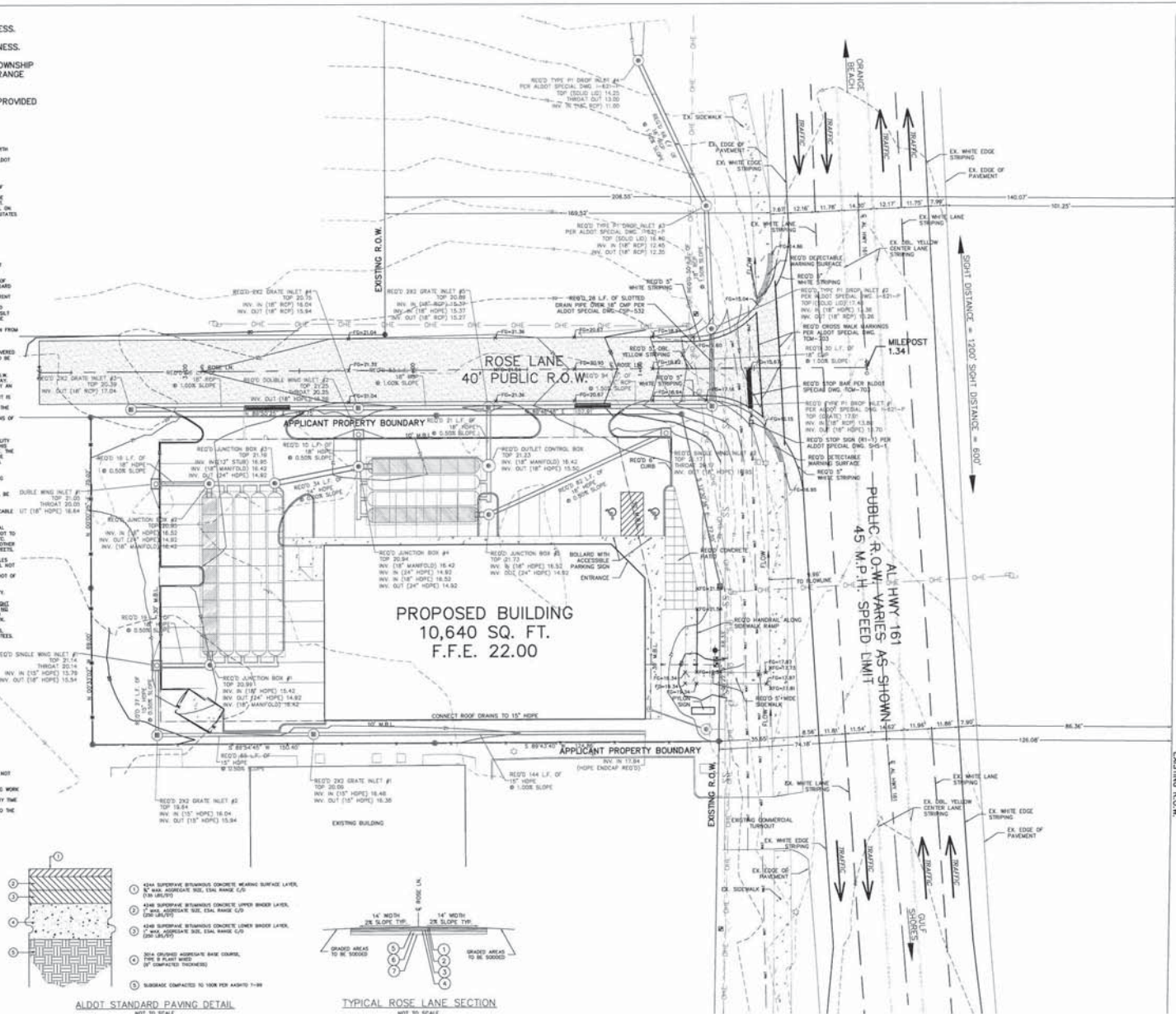


**ALDOT STANDARD PAVING DETAIL**  
NOT TO SCALE

1. 4" SUBGRADE STABILIZED CONCRETE WEARING SURFACE LAYER, 1" MAX. AGGREGATE SIZE, 1.5% RANGE C/D
2. 4" SUBGRADE STABILIZED CONCRETE UPPER WEAR LAYER, 1" MAX. AGGREGATE SIZE, 1.5% RANGE C/D
3. 4" SUBGRADE STABILIZED CONCRETE LOWER WEAR LAYER, 1" MAX. AGGREGATE SIZE, 1.5% RANGE C/D
4. 4" SUBGRADE STABILIZED CONCRETE BASE COURSE, 1" MAX. AGGREGATE SIZE, 1.5% RANGE C/D
5. SUBGRADE COMPACTED TO 100% PER AASHTO T-99



**TYPICAL ROSE LANE SECTION**  
NOT TO SCALE



**EXISTING R.O.W.**

**NEW RETAIL STORE**  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY

**PROPOSED R.O.W.**

**45 M.P.H. SPEED LIMIT**

**AL HWY 161**

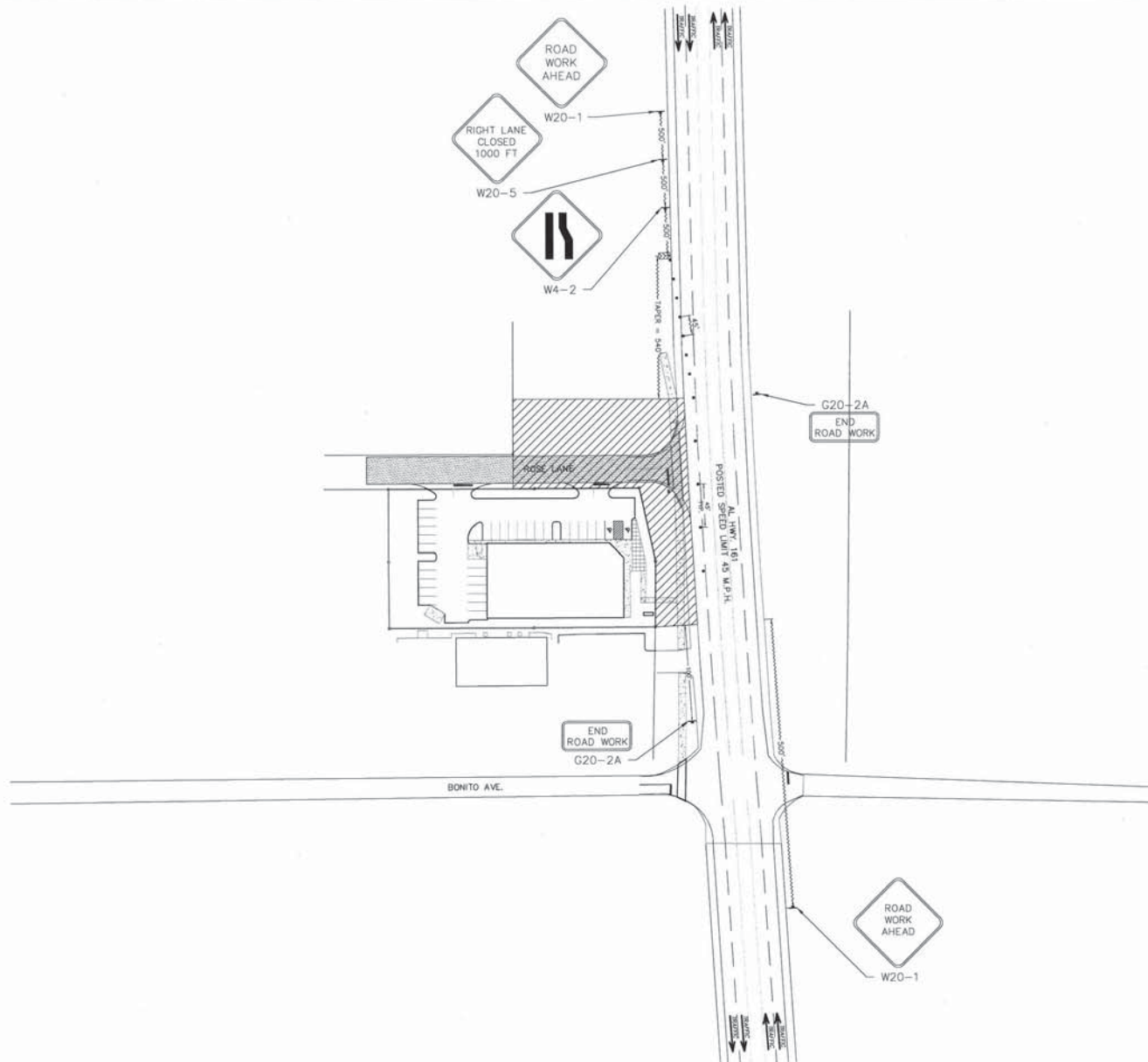
**PROPOSED R.O.W. VARIES AS SHOWN**

**SCALE: 1" = 20'**

**ALABAMA**  
LICENSED  
NO. 27441  
PROFESSIONAL  
ENGINEER  
JOE L. GARRETT

**4SITE, INC.**  
11-29-2016  
04-21-2017  
R.O.W. IMPROVEMENT PLAN  
SHEET 7 OF 17





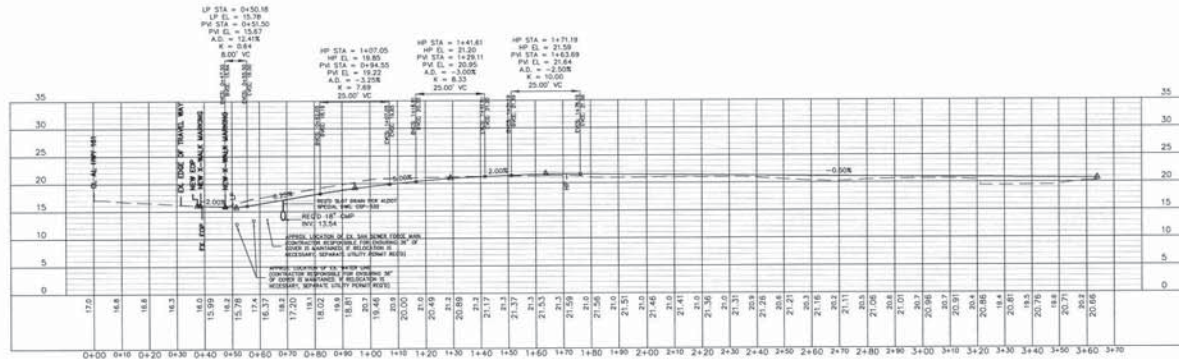
DRAWN BY:	JAC
DATE:	11-29-2016
REVISED:	04-21-2017
TEMPORARY TRAFFIC CONTROL PLAN	
SHEET 8 OF 17	

NEW RETAIL STORE  
 AL HIGHWAY 161  
 ORANGE BEACH, AL  
 BALDWIN COUNTY



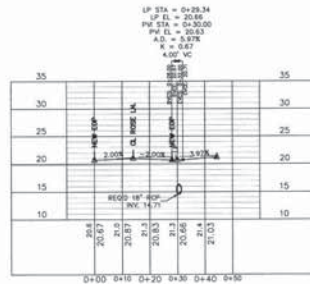
- LEGEND**
- TEMPORARY MOUNTED SIGN
  - CHANNELIZING DRUM
  - WORK AREA
  - PORTABLE SEQUENTIAL ARROW AND CHEVRON SIGN UNIT

REQUIRED SIGN SIZES	
G20-2A	48" X 24"
W20-1	48" X 48"
W20-5	48" X 48"
W4-2	48" X 48"



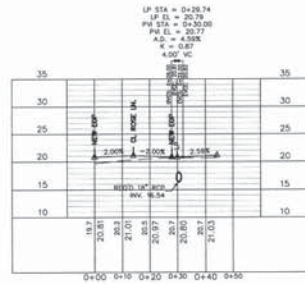
ROSE LANE & PROFILE

H: 1" = 20'  
V: 1" = 10'



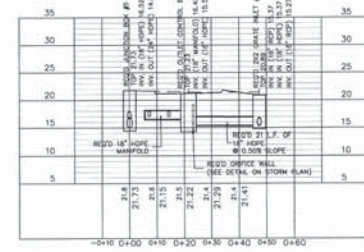
EAST DRIVEWAY & PROFILE

H: 1" = 20'  
V: 1" = 10'



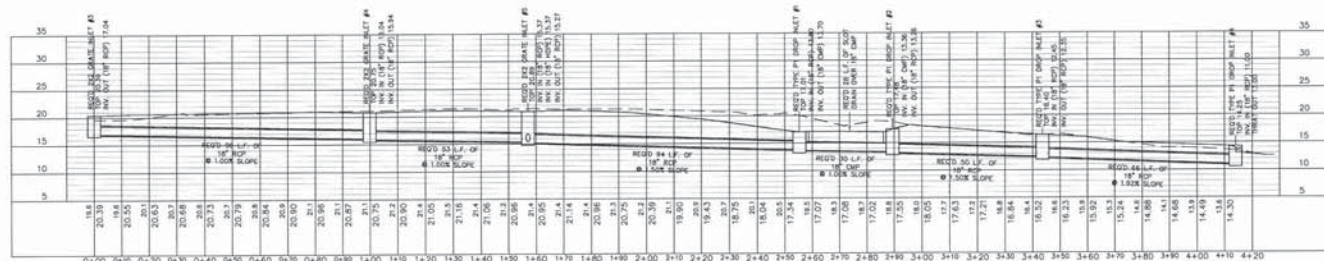
WEST DRIVEWAY & PROFILE

H: 1" = 20'  
V: 1" = 10'



UNDERGROUND DETENTION OUTLET PROFILE

H: 1" = 20'  
V: 1" = 10'



PUBLIC STORM PROFILE

H: 1" = 20'  
V: 1" = 10'



BRADWAY MANAGEMENT LLC  
210 Mountain Square - Birmingham, AL 35201  
Phone: (205) 333-7327 Fax: (205) 333-7328

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY



SCALE: 1" = 20'  
20' 0' 20'

DRAWN BY: JAC  
DATE: 11-28-2016  
REVISION: 04-21-2017  
PROFILE VIEWS  
SHEET 9 OF 17

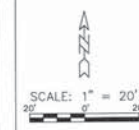
**NOTES**

1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.



DRAWN BY:	JAC
DATE:	11-29-2016
REVISED:	04-21-2017

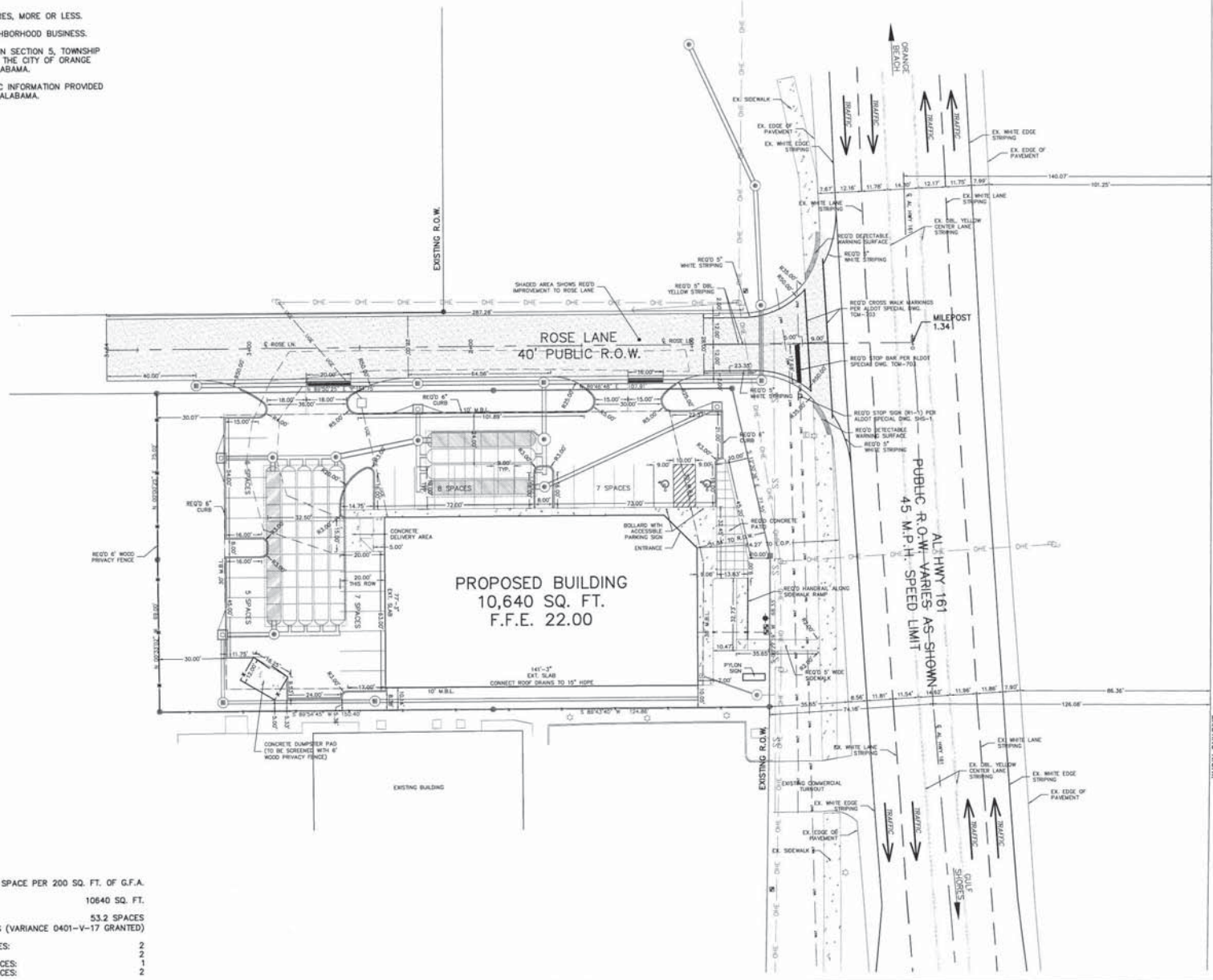
NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY





1. THIS LOT CONTAINS 0.90 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED NB, NEIGHBORHOOD BUSINESS.
3. THIS PROPERTY IS LOCATED IN SECTION 5, TOWNSHIP 9 SOUTH, RANGE 5 EAST, IN THE CITY OF ORANGE BEACH, BALDWIN COUNTY, ALABAMA.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE, INC., HUNTSVILLE, ALABAMA.

<u>PARKING REQUIREMENTS</u>	
RETAIL STORE:	1 SPACE PER 200 SQ. FT. OF G.F.A.
G.F.A. PROVIDED:	10640 SQ. FT.
REQUIRED SPACES:	53.2 SPACES
PROVIDED SPACES:	33 SPACES (VARIANCE 0401-V-17 GRANTED)
ADA REQUIRED HANDICAP SPACES:	2
PROVIDED HANDICAP SPACES:	2
REQUIRED VAN ACCESSIBLE SPACES:	1
PROVIDED VAN ACCESSIBLE SPACES:	1



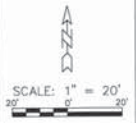
**Provenway Management, Inc.**  
216 Westside Square • Morristown, NJ 37801  
Phone: (256) 533-7263 • Fax: (256) 533-7238

EXISTING R.O.W.	DRAWN BY: JAC	DATE: 11-29-2016
-----------------	---------------	------------------

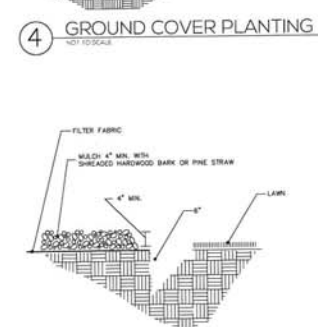
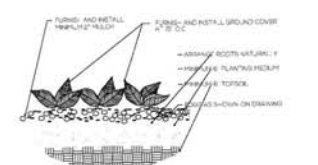
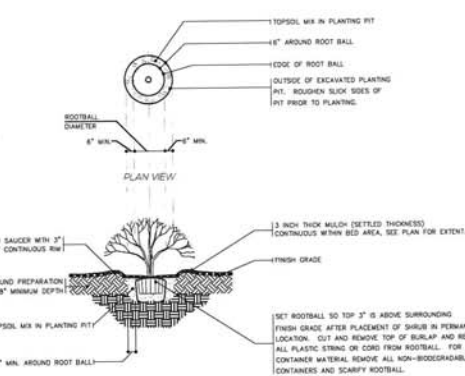
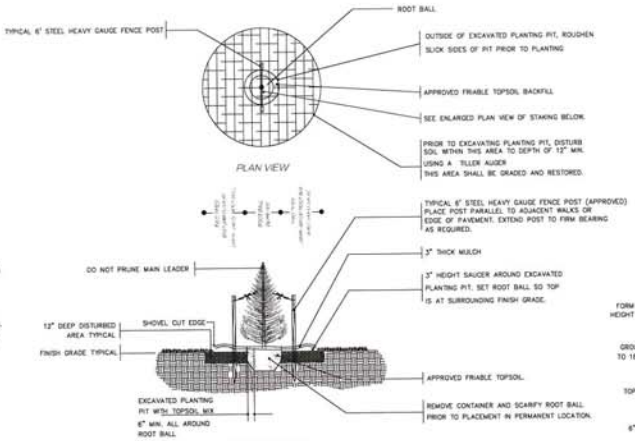
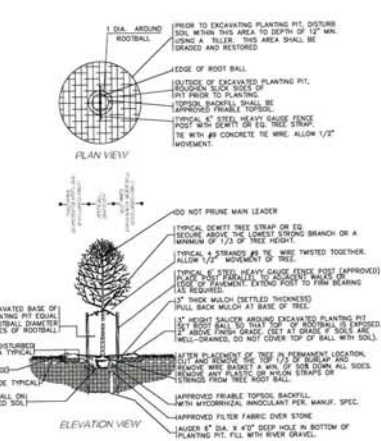
LAYOUT PLAN

SHEET 11 OF 17

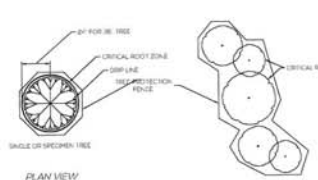
NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY



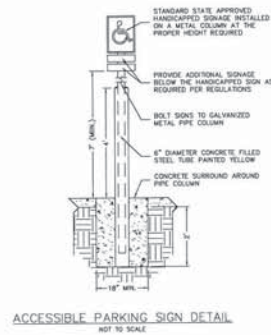
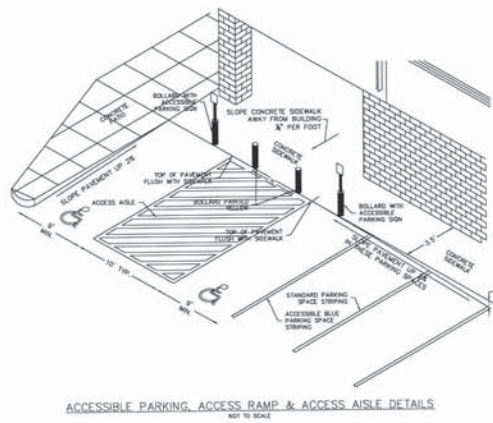
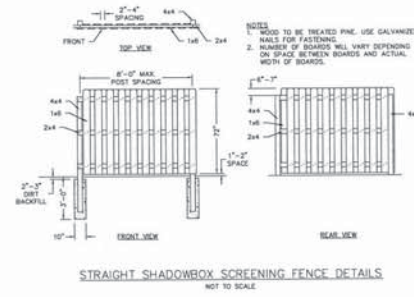
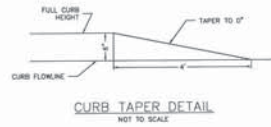
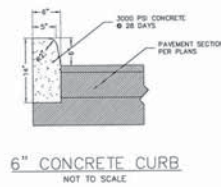
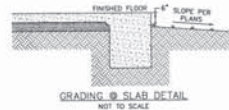
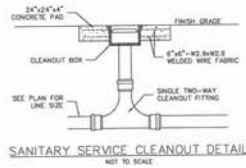
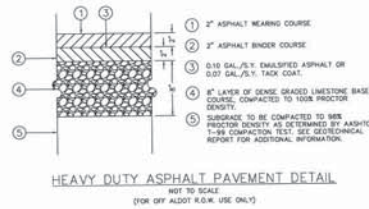
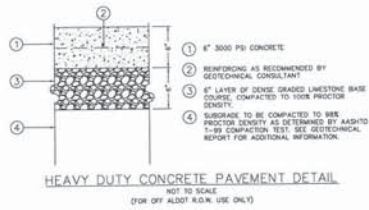




NOT TO SCALE. ALL UTILITY LOCATIONS HAVE BEEN REDUCED BY THE RESPECTIVE UTILITY DEPARTMENTS. CONTRACTORS ARE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. ONLY QUALITY CONSTRUCTION MATERIALS SHALL BE USED. NO SCALE.







**Broadway Management, LLC**  
118 W. 10th Street, Suite 100  
Tulsa, Oklahoma 74103  
Phone: (918) 593-1234 • Fax: (918) 593-1235

DRAWN BY: JAC  
DATE: 11-29-2016  
REVISED: 04-21-2017

CONSTRUCTION DETAILS

SHEET 12 OF 17

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY







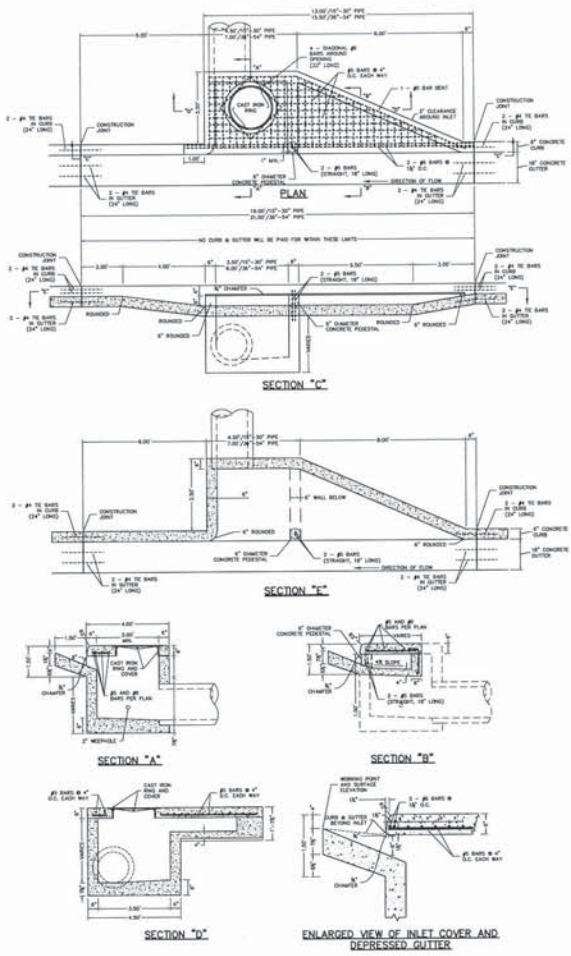
Broadway Management, LLC  
215 West 13th Street, Suite 100  
Palm Beach, FL 33480  
Phone: 561.833.3333 Fax: 561.833.3333

JAC  
11-29-2016  
DATE  
04-21-2017  
REVISED:

STORM DETAILS

SHEET 13 OF 17

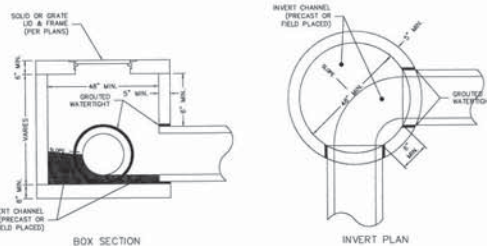
NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY



- "S" INLET CONSTRUCTION NOTES**
1. ALL CONCRETE SHALL BE CLASS "A" AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
  2. ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE STEELING BARS AND SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR INLET STEEL CONCRETE REINFORCEMENT BARS", ASTM A-183, AND INFORMATION SHALL CONFORM TO ASTM A-305.
  3. WHERE DIRECTION OF FLOW IS FROM BOTH SIDES OF INLET, SLOPING OPENINGS (SHOWN ON ONE SIDE ONLY IN THIS DETAIL) SHALL BE CONSTRUCTED ON EACH SIDE OF INLET.
  4. 2" MINIMUM DIAMETER WEEP HOLES SHALL BE CONSTRUCTED IN INLETS AS DIRECTED BY ENGINEER TO FACILITATE SUBGRADE DRAINAGE.
  5. TO ACCOMMODATE SWEPT PIPE OR TO FIT OTHER CONDITIONS, IT MAY BE NECESSARY TO INCREASE ONE OR BOTH PLAN VIEW DIMENSIONS OF INLET BOX AND COVER SLAB. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADDITIONAL MATERIALS OR OTHER COSTS WHERE THESE CHANGES IN DIMENSIONS ARE REQUIRED.
  6. PIPE MAY CONNECT WITH INLETS FROM ANY DIRECTION AND AS MANY CONNECTIONS MAY BE MADE AS NECESSARY.
  7. GRADE LINE ALONG FRONT OF INLET COVER SHALL MATCH THE GRADE LINE ALONG THE TOP OF CURB OF WHICH IT IS A PART OF.
  8. FINISHED SURFACE OF INLET COVER TO BE SLOPED 1" PER FOOT TOWARD THE STREET SUCH THAT SURFACE WATER SHALL BE DIRECTED INTO THE DEPRESSED CURB OF THE INLET.
  9. THE CONTRACTOR MAY POUR THE INLET COVER AFTER THE WALLS AND CENTRAL PRECAST ARE IN PLACE. CONTRACTOR WILL BE REQUIRED TO PLACE EXTRA #3 BARS AT 12" O.C. ALONG INLET DUE TO CONSTRUCTION JOINT BETWEEN THE BOX AND COVER.
  10. CONCRETE PRECAST TO BE POURED IN PLACE. ROUNDS FORM MAY BE CONSTRUCTED OF METAL, PLASTIC OR OTHER APPROVED SUITABLE MATERIAL. A 6" DIAMETER PIPE PREPARED FROM CONCRETE AND REINFORCED AS SHOWN IS ACCEPTABLE.
  11. A MINIMUM OF (3) THREE 3/8" DIAMETER STEEL LAGGER BARS ARE REQUIRED IN ALL INLETS WHERE DIMENSION "X" AS SHOWN IN SECTION "A" EXCEEDS 4'-0". NUMBER AND PLACEMENT OF BARS IN INLET TO BE AS DIRECTED BY ENGINEER.
  12. EXPANSION JOINTS IN ADJOINING CURB SHALL BE PLACED 30 FEET FROM RAY LIMITS OF INLET.

**"S" INLET DETAILS**

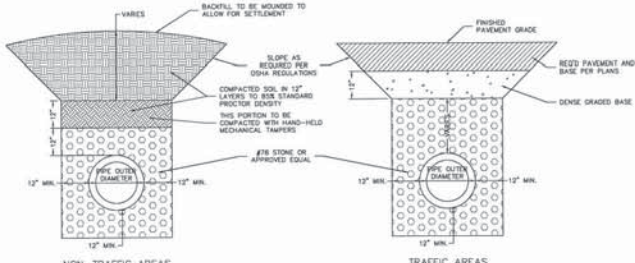
NOT TO SCALE



- PRECAST INLET BOX NOTES**
1. ALL CONCRETE SHALL BE CLASS "A" AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
  2. ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE STEELING BARS AND SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR INLET STEEL CONCRETE REINFORCEMENT BARS", ASTM A-183, AND INFORMATION SHALL CONFORM TO ASTM A-305.
  3. WALL AND SLAB THICKNESSES ARE MINIMUMS AND MAY BE INCREASED AT THE DISCRETION OF THE PRECAST MANUFACTURER.
  4. PIPE MAY CONNECT WITH INLET BOX FROM ANY DIRECTION AND AS MANY CONNECTIONS MAY BE MADE AS NECESSARY AS LONG AS MINIMUM SPACING BETWEEN PIPES IS MAINTAINED.
  5. DIAMETER MAY BE INCREASED AS REQUIRED TO ACCOMMODATE NUMBER OF CONNECTING PIPES, PIPE SIZES AND ANGLES.
  6. ALL CIRCULAR BEDSTONES TO BE SEALED WITH RUBBER GASKETS.
  7. SIZING AND LOCATION OF LIFTING DEVICES SHALL BE THE RESPONSIBILITY OF THE PRECAST MANUFACTURER IN ORDER TO ASSURE SAFETY AND BALANCED HANDLING DURING TRANSPORTATION AND INSTALLATION OF THE INLET BOX. LIFTING HOLES THAT PASS COMPLETELY THROUGH WALL OR SLAB SHALL BE SEALED BY FILING WITH MORTAR AFTER INSTALLATION.
  8. REQUIRED INVERT CHANNELS MAY BE PREFORMED OR FIELD CONSTRUCTED. CHANGES IN DIRECTION OF FLOW SHALL HAVE A TRUE CORNE AS LARGE A RADIUS AS SIZE WILL PERMIT AND BE FINISHED UP TO THE CENTER OF PIPE.
  9. ALL PIPE/DEVICE OPENINGS IN PRECAST INLET BOXES SHALL BE PREFORMED BY THE MANUFACTURER OR CORDED IN THE FIELD.

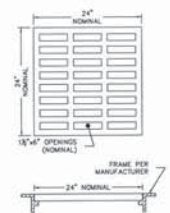
**PRECAST ROUND INLET BOX DETAILS**

NOT TO SCALE



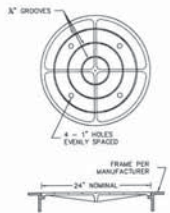
**STORM SEWER PIPE BEDDING DETAILS**

NOT TO SCALE



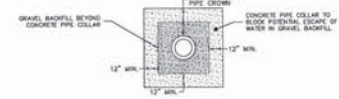
**2'x2' GRATE INLET DETAILS**

NOT TO SCALE



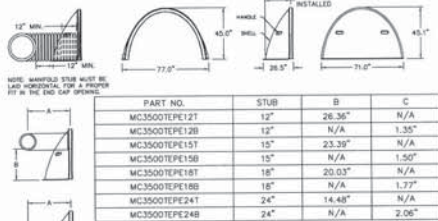
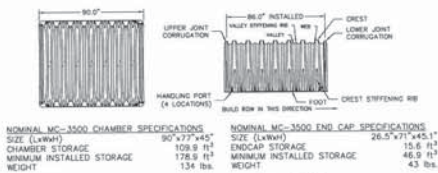
**SOLID COVER DETAILS**

NOT TO SCALE



**CONCRETE PIPE COLLAR DETAIL**

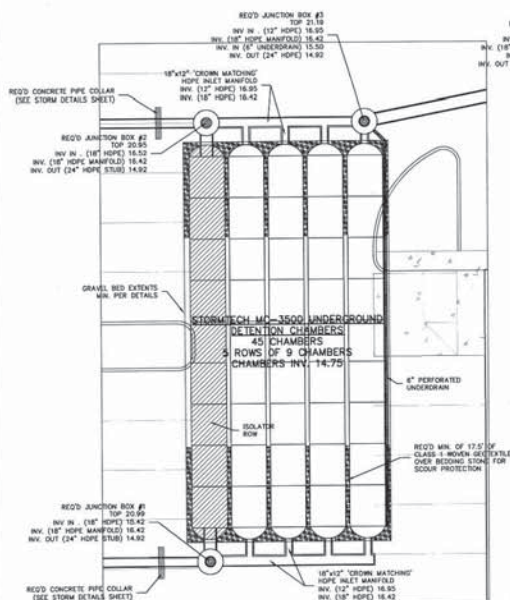
NOT TO SCALE



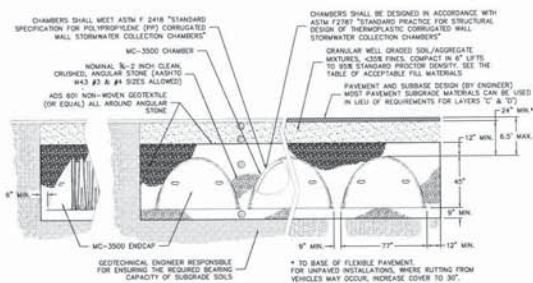
- NOTES:**
1. PART NUMBERS ENDING WITH "T" ARE FOR STUBS AT TOP OF END CAP. PART NUMBERS ENDING WITH "B" ARE FOR STUBS AT BOTTOM OF END CAP.
  2. CUSTOM PRECISED INVERTS ARE AVAILABLE UPON REQUEST. INVENTED MANIFOLDS INCLUDE 12"-24" SIZE ON SIZE AND 15" THROUGH 48" ECCENTRIC MANIFOLDS.
  3. ALL DIMENSIONS ARE NOMINAL.

#### MC-3500 TECHNICAL SPECS

NOT TO SCALE



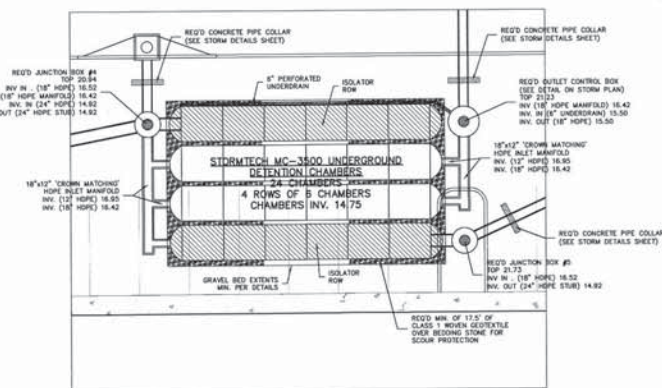
STORMTECH UNDERGROUND DETENTION BED 1  
SCALE: 1" = 10'



- NOTES:**
1. PERIMETER STONE MUST ALWAYS BE BROUGHT UP EVENLY WITH BACKFILL OF BED. PERIMETER STONE MUST EXTEND HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH STRAIGHT OR SLOPED SIDEWALLS.
  2. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
  3. ONCE LAYER "C" IS PLACED ANY SOL/MATERIAL CAN BE PLACED IN LAYER "D" UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIALS REQUIREMENTS OF LAYERS "C" OR "D" AT THE DESIGN ENGINEER'S DISCRETION.

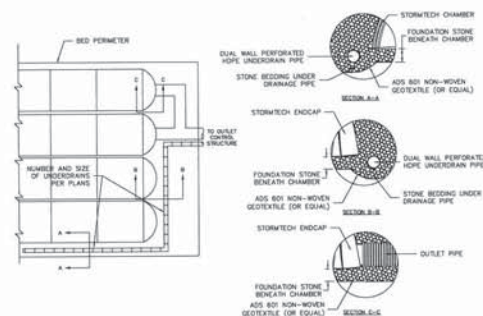
#### MC-3500 TYPICAL CROSS-SECTION

NOT TO SCALE



STORMTECH UNDERGROUND DETENTION BED 2  
SCALE: 1" = 10'

- NOTES:**
1. ALL DESIGN SPECIFICATIONS FOR STORMTECH MC-3500 CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL.
  2. THE INSTALLATION OF STORMTECH MC-3500 CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
  3. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2684 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
  4. CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND LOAD FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.



#### STORMTECH UNDERDRAIN DETAIL

NOT TO SCALE

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FOR LAYER "D" STARTS FROM THE TOP OF THE "C" LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE "D" LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR LAYER "C" STARTS FROM THE TOP OF THE CHAMBER TO THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-DRAINED (OR AGGREGATE MATERIALS) 5.5% FINES. MOST PAVEMENT SUBGRADE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 487, 5, 56, 57, 6, 63, 68, 7, 78, 8, 86, 9, 90	BEFORE COMPACTION AFTER 24" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" MAX LIFTS TO A MIN. SIB STANDARD PROCTOR DENSITY.
PAVEMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE TO THE "C" LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 1/4" - 2" NICH.	3, 4	NO COMPACTION REQUIRED.
FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBERS.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 1/4" - 2" NICH.	3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A SIB STANDARD PROCTOR DENSITY.

**NOTES:**

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "A" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" MAX LIFTS USING THE FULL COVERS WITH AN APPROPRIATE COMPACTOR.

#### STORMTECH MC-3500 CHAMBER SYSTEMS ACCEPTABLE FILL MATERIALS

**Broadway Management, LLC**  
18 West Main Street, Suite 200  
P.O. Box 1537  
Orange Beach, AL 36551-1537  
Phone: (251) 332-1232 • Fax: (251) 332-3720

JAC  
11-29-2016  
04-21-2017

STORMTECH DETAILS

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY

SHEET 14 OF 17

ALABAMA  
LICENSED  
NO. 27441  
PROFESSIONAL  
ENGINEER  
JOEL C. GARNETT



#### GENERAL NOTES

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND LIMITED DURATIONS, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED AND DISPOSED/STABILIZED SO THAT IT WILL NOT ENTER INLETS.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING THE CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE AS SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. AS THEY ARE RELOCATED, ANY DEFECTIVE MATERIALS IN THE BARRIER SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.

CUT AND FILL SLOPES ARE NOT TO EXCEED 2:1 H:V.

INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED.

STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED.

CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN.

ALL DRAINAGE SWALES SHALL BE STABILIZED AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

#### GENERAL GROUNDKEEPING NOTES

THE MATERIAL STAGING AREA SHOULD BE LOCATED AWAY FROM VEHICULAR TRAFFIC, NEAR THE CONSTRUCTION ENTRANCE, AND AWAY FROM WATERWAYS OR STORM DRAINS.

ALL MATERIALS STORED ON-SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND UNDER A ROOF OR OTHER ENCLOSURE, OR COVERED FOR PROTECTION FROM PRECIPITATION.

AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCTS TO DO THE JOB.

PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. A LIST OF MATERIALS SHOULD BE COMPILED FOR ITEMS THAT WILL BE STORED ON-SITE DURING CONSTRUCTION ALONG WITH APPROPRIATE MATERIAL SAFETY DATA SHEETS. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL MUST BE FOLLOWED (SEE MATERIAL SAFETY DATA SHEET).

THE SITE SUPERINTENDENT MUST INSPECT DAILY TO ENSURE PROPER USAGE, STORAGE AND DISPOSAL OF MATERIALS.

FERTILIZERS NEED TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.

ALL PAINT CONTAINERS NEED TO BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DUMPED INTO THE STORM SEWER SYSTEM BUT SHOULD BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS IN ACCORDANCE WITH FEDERAL AND STATE LAW.

THE SITE SHOULD BE KEPT CLEAN AND WELL GROOMED (TRASH PICKED UP REGULARLY, WEEDS MOWED AND SIGNS MAINTAINED).

OFFSITE FUGITIVE SPRAY FROM DUST CONTROL, SAND BLASTING AND PRESSURE WASHING MUST BE MINIMIZED TO THE EXTENT POSSIBLE.

LOCATE ACTIVITIES THAT GENERATE ODORS AND NOISE AS FAR FROM SURROUNDING PROPERTIES AS POSSIBLE (INCLUDING PORTABLE TOILETS, BURN SITES, FUELING AREAS, EQUIPMENT REPAIR AREAS AND DUMPSTERS).

SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

#### SPILL PREVENTION, CONTROL AND MANAGEMENT NOTES

1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP NEED TO BE CLEARLY POSTED AND SITE PERSONNEL NEED TO BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. REFER TO MATERIAL SAFETY DATA SHEETS.

2. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP NEEDS TO BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS INCLUDE, BUT ARE NOT LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, GOGGLES, ABSORBENT CLAY (KITTY LITTER), SAND, SAWDUST, ABSORBENT MATS, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

3. ALL SPILLS NEED TO BE CLEANED UP IMMEDIATELY AFTER DISCOVERY AND PROPERLY CONTAINERIZED FOR PROPER DISPOSAL. BURIAL IS NOT ACCEPTABLE.

4. THE SPILL AREA MUST BE KEPT WELL VENTILATED AND PERSONNEL NEED TO WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

5. SPILLS OF TOXIC OR HAZARDOUS MATERIAL MUST BE REPORTED IMMEDIATELY TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

6. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON THE SURFACE) OR OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER AND ADEM SHALL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS GREATER THAN 25 GALLONS WITH NO SURFACE WATER IMPACTS, ADEM SHALL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS THE SPILL SHALL BE CLEANED UP AND LOCAL AGENCIES CONTACTED AS REQUIRED.

NATIONAL RESPONSE CENTER (800) 424-8802  
ADEM STORMWATER MANAGEMENT BRANCH (334) 271-7700  
ADEM EMERGENCY RESPONSE, AFTER-HOURS (800) 843-0699

#### SPILL PREVENTION AND MATERIAL MANAGEMENT PRACTICES

##### PETROLEUM PRODUCTS

ALL VEHICLES KEPT ON THE SITE NEED TO BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHOULD BE STORED IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. IF PETROLEUM PRODUCTS ARE STORED ON SITE, A SECONDARY CONTAINMENT FACILITY WILL BE REQUIRED IF THE CUMULATIVE STORAGE CAPACITY OF ALL TANKS, GREATER THAN 55 GALLONS, AT THE SITE EXCEEDS 1,320 GALLONS. ANY ASPHALT SUBSTANCES USED ON-SITE SHOULD BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

##### FUELING & SERVICING

NO FUELING, SERVICING, MAINTENANCE, OR REPAIR OF EQUIPMENT OR MACHINERY SHOULD BE DONE WITHIN 50 FEET OF A STREAM, OR WITHIN 100 FEET OF A STREAM CLASSIFIED FOR PUBLIC WATER SUPPLY (PWS) OR OUTSTANDING ALABAMA WATER (OAW), OR DESIGNATED AS AN OUTSTANDING NATIONAL RESOURCE WATER (ONRW), OR A SINKHOLE.

##### DISPOSAL OF OIL

NO FUELS, OILS, LUBRICANTS, SOLVENTS, OR OTHER HAZARDOUS MATERIALS CAN BE DISPOSED OF ON THE SITE. ALL HAZARDOUS MATERIAL MUST BE PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE LAW.

##### TRASH/SOLID WASTE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL SOLID WASTE FROM THE SITE IN ACCORDANCE WITH STATE LAW. DUMPSTERS OR OTHER COLLECTION FACILITIES MUST BE PROVIDED AS NEEDED. SOLID WASTE MAY NOT BE BURIED ON THE SITE.

##### SANITARY WASTE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SANITARY FACILITIES ON THE SITE. PORTABLE TOILETS ARE TO BE LOCATED ON LEVEL GROUND, AWAY FROM DRAINAGE INLETS OR FEATURES, AND SERVICED BY A LICENSED PROVIDER.

##### OTHER DISCHARGES

FLOWS FROM THE FOLLOWING NON-STORMWATER DISCHARGES ARE TO BE DIRECTED TO ONSITE BMP'S:

- FIRE HYDRANT FLUSHINGS
- WATER USED TO CONTROL DUST
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHINGS NOT ASSOCIATED WITH HYDROSTATIC TESTING
- ROUTINE EXTERNAL BUILDING WASH-DOWN ASSOCIATED WITH CONSTRUCTION THAT DOES NOT USE DETERGENTS
- PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED
- UNCONTAMINATED GROUND WATER OR SPRING WATER
- FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS
- LANDSCAPE IRRIGATION

THESE DISCHARGES ARE AUTHORIZED PROVIDED THE NON-STORMWATER COMPONENT OF THE DISCHARGE IS IN COMPLIANCE WITH PART 1.B.(2) OF THE ALABAMA GENERAL CONSTRUCTION PERMIT.

POTENTIAL NONSEDIMENT SOURCES OF POLLUTION		
TRADE NAME MATERIAL	POTENTIAL KNOWN STORMWATER POLLUTANTS	LOCATION
PESTOCIDES	CHLORINATED HYDROCARBONS, ORGANOPHOSPHATES, CARBAMATES, ARSENIC	USED FOR NOxious WEED CONTROL
FERTILIZER	NITROGEN, PHOSPHORUS	NEWLY SEEDS/ROODED AREAS
PLASTER	CALCIUM SULFATE, CALCIUM CARBONATE, SULFURIC ACID	BUILDING CONSTRUCTION
CLEANING SOLVENTS	PETROCHLOROTYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, PETROLEUM DISTILLATES	NO EQUIPMENT CLEANING WITH SOLVENTS ALLOWED IN PROJECT LIMITS
ASPHALT	OIL, PETROLEUM DISTILLATES	STREETS/PARKING AND ROOFING
CONCRETE	LIMESTONE, SAND, PH, CHROMIUM	PARKING AREA, BUILDING CONSTRUCTION
GLUE/ADHESIVES	POLYMERS, EPOXIES	BUILDING CONSTRUCTION
PAINTS	METHYLOXIDE, STODDARD SOLVENT, TALL, CALCIUM CARBONATE, ARSENIC	BUILDING CONSTRUCTION
DURUM COMPOUNDS	NAPHTHA	PARKING, BUILDING CONSTRUCTION
HYDRAULIC OIL/ FLUIDS	MINERAL OIL	LEAKS OR BROKEN HOSES FROM EQUIPMENT
GASOLINE	BENZENE, ETHYL BENZENE, TOLUENE, XYLENE, NITRO	FUELING AREA
DIESEL FUEL	PETROLEUM DISTILLATE, OIL & GREASE, NAPHTHALENE, XYLENES	FUELING AREA
KEROSENE	COAL, OIL, PETROLEUM DISTILLATES	FUELING AREA
ANTIFREEZE/ COOLANT	ETHYLENE GLYCOL, PROPYLENE GLYCOL, HEAVY METALS (COPPER, LEAD, ZINC)	LEAKS OR BROKEN HOSES FROM EQUIPMENT
PORTABLE TOILET	BACTERIA, VIRUSES AND PARASITES	ONSITE

THESE MATERIALS ARE TYPICALLY BROUGHT TO SITE AS NEEDED AND NOT STORED. LOCATIONS GIVEN ABOVE ARE WHERE THESE MATERIALS ARE TYPICALLY USED.

#### INSPECTION SCHEDULE AND PROCEDURES

##### DAILY OBSERVATIONS

EACH DAY THERE IS ACTIVITY AT THE SITE, PORTIONS OF THE SITE WHERE ACTIVE DISTURBANCE, WORK OR CONSTRUCTION OCCURRED SHALL BE VISUALLY OBSERVED FOR ANY APPARENT BMP DEFICIENCIES IN THE AREA OF ACTIVE DISTURBANCE. ALSO, ANY RAINFALL MEASUREMENTS OCCURRING SINCE THE PREVIOUS OBSERVATION SHALL BE NOTED. ALL OBSERVATIONS AND RAINFALL MEASUREMENTS SHALL BE LOGGED.

##### SITE INSPECTIONS

A COMPLETE AND COMPREHENSIVE OBSERVATION OF THE CONSTRUCTION SITE INCLUDING ALL AREAS OF LAND DISTURBANCE, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, AFFECTED DITCHES AND OTHER STORMWATER CONVEYANCES, AS WELL AS ALL OUTFALLS, RECEIVING WATERS AND STREAM BANKS IS TO BE PERFORMED TO DETERMINE IF, AND ENSURE THAT:

1. EFFECTIVE EROSION AND SEDIMENT CONTROLS HAVE BEEN FULLY IMPLEMENTED AND MAINTAINED
  2. POLLUTANT DISCHARGES HAVE BEEN PREVENTED/MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE, AND
  3. DISCHARGES DO NOT RESULT IN A CONTRAVENTION OF APPLICABLE STATE WATER QUALITY STANDARDS FOR THE RECEIVING WATERS.
- SITE INSPECTIONS SHALL BE PERFORMED ONCE EACH MONTH AND AFTER ANY QUALIFYING PRECIPITATION EVENT (¼" OR GREATER IN A 24-HR PERIOD) AS SOON AS POSSIBLE BUT NO LATER THAN 24 HOURS AFTER RESUMING OR CONTINUING ACTIVE CONSTRUCTION OR DISTURBANCE, AND COMPLETED NO LATER THAN 72 HOURS FOLLOWING THE EVENT. SITE INSPECTIONS SHALL ALSO BE PERFORMED AS OFTEN AS IS NECESSARY UNTIL ANY POORLY FUNCTIONING EROSION AND SEDIMENT CONTROLS, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING A PRIOR INSPECTION ARE CORRECTED AND DOCUMENTED AS BEING IN COMPLIANCE. A SITE INSPECTION IS TO BE PERFORMED BY A QCP ONCE EVERY 6 MONTHS AFTER CONSTRUCTION HAS COMMENCED. SITE INSPECTIONS SHALL BE RECORDED ON ADEM FORM 23 "ADEM NPDES CONSTRUCTION STORMWATER INSPECTION REPORT AND BMP CERTIFICATION."

##### CORRECTIVE ACTION REQUIREMENTS

POORLY FUNCTIONING BMP'S, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING MONTHLY OR PRECIPITATION EVENT INSPECTIONS WILL BE CORRECTED AS SOON AS POSSIBLE. REPAIRS, REPLACEMENT, AND MAINTENANCE WILL BE IMPLEMENTED WITHIN FIVE DAYS OF THE INSPECTION, UNLESS PREVENTED BY UNSAFE CONDITIONS. TEMPORARY CONTAINMENT MEASURES WILL BE EMPLOYED IN THE EVENT OF A BREACH OF A SEDIMENT BASIN OR PERIMETER BARRIER. THESE MEASURES WILL BE IMPLEMENTED WITHIN 24 HOURS FOLLOWING THE INSPECTION. PERMANENT CORRECTIVE MEASURES WILL BE IMPLEMENTED WITHIN FIVE DAYS FOLLOWING THE INSPECTION. THE OPERATOR MUST CONTACT ADEM IF THE MEASURES CANNOT BE IMPLEMENTED WITHIN THE TIME ALLOWED.

IF THERE IS A BMP DEFICIENCY/FAILURE OR NON-COMPLIANT DISCHARGE THAT CAUSES OR CONTRIBUTES TO A VIOLATION OF APPLICABLE WATER QUALITY STANDARDS, THE OPERATOR IS REQUIRED TO VISUALLY MONITOR AND NOTIFY ADEM WITHIN 24 HOURS OF BECOMING AWARE OF SUCH DISCHARGE. THE OPERATOR SHALL COMPLETE AND SUBMIT ADEM FORM 25 "ADEM NPDES CONSTRUCTION STORMWATER NONCOMPLIANCE NOTIFICATION REPORT" WITH SUPPORTING DOCUMENTATION TO ADEM WITHIN 5 DAYS OF BECOMING AWARE OF SUCH DISCHARGE.

IN THE EVENT THAT POLLUTANTS ARE DEPOSITED OFF-SITE OR IN A WATERBODY OR STORMWATER CONVEYANCE, THE OPERATOR WILL TAKE ALL REASONABLE STEPS TO REMOVE, TO THE MAXIMUM EXTENT PRACTICAL, THE POLLUTANT.

1. RECOVERED POLLUTANTS IN THE FORM OF PETROLEUM, CONSTRUCTION DEBRIS, OR HOUSEHOLD RUBBISH WILL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH FEDERAL AND STATE LAW.
2. RECOVERED POLLUTANTS IN THE FORM OF SEDIMENT ARE TO BE REMOVED AND SPREAD ON-SITE IN DISTURBED AREAS NOT PERMANENTLY STABILIZED, OR DISPOSED OF WITH THE SOLID WASTE IN A PERMITTED CONSTRUCTION & DEMOLITION LANDFILL. AREAS OF OFF-SITE SEDIMENT REMOVAL ARE TO BE PERMANENTLY STABILIZED ONCE REMOVAL IS COMPLETE.



Broadway Management, LLC  
10000 Highway 161  
Orange Beach, AL 36555  
Phone: (251) 337-1257 • Fax: (251) 337-1258

DRAWN BY: JAC  
DATE: 11-29-2016  
REVISED: 04-21-2017

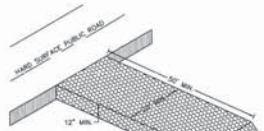
ESPC NOTES

SHEET 15 OF 17

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY





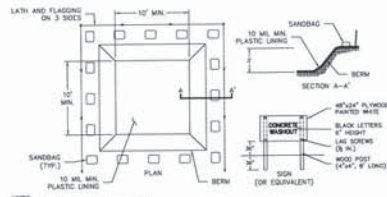


#### CONSTRUCTION EXIT PAD NOTES

1. A STABILIZED CONSTRUCTION EXIT PAD (CONSTRUCTION ENTRANCE) SHALL BE CONSTRUCTED AT LOCATIONS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER BASED ON SAFETY, ECONOMY AND CONSTRUCTION SEQUENCE. THESE ENTRANCES ARE POINTS OF EGRESS FROM UNSTABILIZED AREAS OF THE PROJECT TO PUBLIC ROADS WHERE OFF SITE TRACKING OF WASH COULD OCCUR. TRAFFIC FROM UNSTABILIZED AREAS OF THE PROJECT SHALL BE DIRECTED THROUGH THE STABILIZED ENTRANCE. BARRIERS, FLAGGING, OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT AND DIRECT VEHICULAR EGRESS ACROSS THE STABILIZED ENTRANCE.
2. ALL MATERIALS SPILLED, SHIPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING THE STABILIZED CONSTRUCTION ENTRANCE AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED ONLY OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER.
3. AGGREGATES SHALL BE ALDIT SIZE # 57. SIZE CONTAINING EXCESSIVE SHALL AGGREGATE WILL TRACK OFF THE PROJECT AND ARE UNDESIRABLE.
4. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION TO PREVENT OFF SITE TRACKING. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH # 57 WASH. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE STABILIZED ENTRANCE MAY BE REQUIRED TO LIMIT THE MUD TRACKING.
5. THE NOMINAL SIZE OF A STANDARD STABILIZED CONSTRUCTION ENTRANCE IS 20'x20' UNLESS OTHERWISE SHOWN IN THE PLANS.

CEP CONSTRUCTION EXIT PAD DETAIL

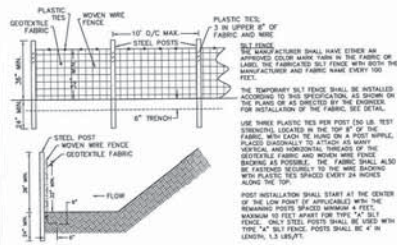
NOT TO SCALE



1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
3. THE CONCRETE WASHOUT SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
4. THE CONCRETE WASHOUT SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
5. THE CONCRETE WASHOUT SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.

GK BELOW GRADE CONCRETE WASHOUT DETAIL

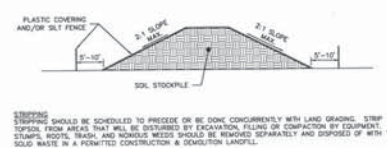
NOT TO SCALE



1. THE SILT FENCE SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
2. THE SILT FENCE SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
3. THE SILT FENCE SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
4. THE SILT FENCE SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
5. THE SILT FENCE SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.

SB TYPE 'A' SILT FENCE

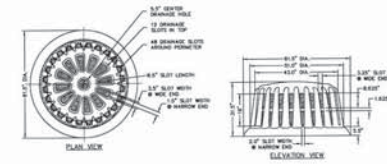
NOT TO SCALE



1. THE TOPSOILING SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
2. THE TOPSOILING SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
3. THE TOPSOILING SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
4. THE TOPSOILING SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
5. THE TOPSOILING SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.

TSG TOPSOILING

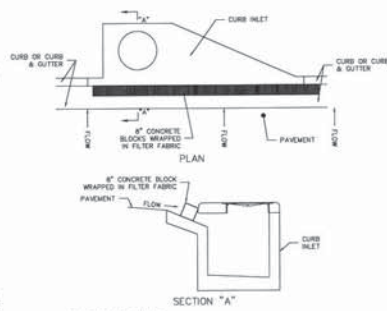
NOT TO SCALE



1. THE FABRIC DROP INLET PROTECTION SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
2. THE FABRIC DROP INLET PROTECTION SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
3. THE FABRIC DROP INLET PROTECTION SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
4. THE FABRIC DROP INLET PROTECTION SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
5. THE FABRIC DROP INLET PROTECTION SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.

FIP FABRIC DROP INLET PROTECTION DETAIL

NOT TO SCALE



1. THE CURB INLET FILTER SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
2. THE CURB INLET FILTER SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
3. THE CURB INLET FILTER SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
4. THE CURB INLET FILTER SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.
5. THE CURB INLET FILTER SHALL BE 10' MIN. WIDE AND 10' MIN. DEEP. IT SHALL BE CONSTRUCTED WITH A MINIMUM 4" THICK CONCRETE WASHOUT WALLS AND A MINIMUM 4" THICK CONCRETE WASHOUT FLOOR.

IP CURB INLET FILTER DETAIL

NOT TO SCALE

COMMONLY USED PLANTS FOR TEMPORARY COVER					
SPECIES	SEED RATE/AC	SEEDING DATES			
		NORTH	CENTRAL	SOUTH	
MILLET, BROWNTOP OR GERMAN	40 LBS	MAY 1-AUG 15	APR 1-AUG 15	APR 1-AUG 15	
RYE	3 BU	SEPT 1-NOV 15	SEPT 1-NOV 15	SEPT 1-NOV 15	
HYDRANGEA	50 LBS	AUG 1-SEPT 15	SEPT 1-OCT 15	SEPT 1-OCT 15	
GERARDIA-SILVER HYDRANGEA	40 LBS	MAY 1-AUG 15	APR 1-AUG 15	APR 1-AUG 15	
SPOROBOLUS	40 LBS	MAY 1-AUG 15	APR 1-AUG 15	APR 1-AUG 15	
MILLET	3 BU	SEPT 1-NOV 15	SEPT 1-NOV 15	SEPT 1-NOV 15	
COMMON BERBERISGRASS	10 LBS	APR 1-JULY 1	MAR 1-JULY 1	MAR 1-JULY 1	
CRIMSON CLOVER	10 LBS	SEPT 1-NOV 15	SEPT 1-NOV 15	SEPT 1-NOV 15	

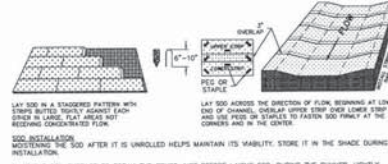
1. THE SEEDS SHALL BE WELL PULVERIZED, LOOSE, AND SMOOTH. IF SOILS BECOME COMPACTED DURING DRAGGING, LOOSEN THEM TO A DEPTH OF 4" TO 6" WITH A RAKE OR OTHER EQUIPMENT.
2. SEEDS OF LARGE CLOVER, CRIMSON CLOVER, COMPACTED, HARD OR CRUSTED SOIL SURFACES WITH A DISK, ROLLER, OR OTHER EQUIPMENT TO PREPARE THE SOIL SURFACES FOR SEEDING.
3. SEEDS OF LARGE CLOVER, CRIMSON CLOVER, COMPACTED, HARD OR CRUSTED SOIL SURFACES WITH A DISK, ROLLER, OR OTHER EQUIPMENT TO PREPARE THE SOIL SURFACES FOR SEEDING.
4. SEEDS OF LARGE CLOVER, CRIMSON CLOVER, COMPACTED, HARD OR CRUSTED SOIL SURFACES WITH A DISK, ROLLER, OR OTHER EQUIPMENT TO PREPARE THE SOIL SURFACES FOR SEEDING.
5. SEEDS OF LARGE CLOVER, CRIMSON CLOVER, COMPACTED, HARD OR CRUSTED SOIL SURFACES WITH A DISK, ROLLER, OR OTHER EQUIPMENT TO PREPARE THE SOIL SURFACES FOR SEEDING.

TS TEMPORARY SEEDING

MULCHING MATERIALS AND APPLICATION RATES		
MATERIAL	RATE PER ACRE (PER 1000 SQ. FT.)	NOTES
STRAW (8-12 TONS) (70 LBS-90 LBS)	8-12 TONS (70 LBS-90 LBS)	SPREAD BY HAND OR MACHINE TO ACHIEVE 65-TON COVER. WHEN SPREADING STRAW, COVER THE AREA TO BE MULCHED WITH SECTIONS OF APPROXIMATELY 1000 SQ. FT. AND PLACE 70-80 POUNDS OF STRAW (IN 2 TO 3 BALS) IN EACH SECTION TO FACILITATE UNIFORM DISTRIBUTION.
STRAW (13-15 TONS) (115 LBS-150 LBS)	13-15 TONS (115 LBS-150 LBS)	SPREAD BY HAND OR MACHINE TO ACHIEVE 100-TON COVER. WHEN SPREADING STRAW, COVER THE AREA TO BE MULCHED WITH SECTIONS OF APPROXIMATELY 1000 SQ. FT. AND PLACE 115-150 POUNDS OF STRAW (IN 2 TO 3 BALS) IN EACH SECTION TO FACILITATE UNIFORM DISTRIBUTION.
WOOD CHIPS (8-12 TONS) (225 LBS-270 LBS)	8-12 TONS (225 LBS-270 LBS)	TREAT WITH 12 LBS. NITROGEN/TON.
WOOD CHIPS (13-15 TONS) (275 LBS-330 LBS)	13-15 TONS (275 LBS-330 LBS)	CAN APPLY WITH MULCH BLOWER.
WOOD CHIPS (16-18 TONS) (360 LBS-450 LBS)	16-18 TONS (360 LBS-450 LBS)	SPREAD BY HAND OR MACHINE, WILL NOT BLOW LINE STRAIN.
WOOD CHIPS (19-21 TONS) (450 LBS-525 LBS)	19-21 TONS (450 LBS-525 LBS)	WILL WASH OFF SLOPES. TREAT WITH 12 LBS. NITROGEN/TON.

1. BEFORE MULCHING, COMPLETE THE REQUIRED DRAINAGE AS NECESS. SEEDING PREPARATION (TILLAGE, LIMING AND BEDDING) IS A NECESSARY STEP BEFORE MULCHING.
2. IN A SECOND AREA, UNIFORM SPREAD ORGANIC MULCHES BY HAND OR WITH A MULCH BLOWER AT A RATE OF 6-12 TONS PER ACRE. COVER THE AREA TO BE MULCHED WITH SECTIONS OF APPROXIMATELY 1000 SQ. FT. AND PLACE 60-120 POUNDS OF MULCH (IN 2 TO 3 BALS) IN EACH SECTION TO FACILITATE UNIFORM DISTRIBUTION.
3. FOR MULCH USED AS EROSION CONTROL, WITHOUT SEEDING, 10% OF THE SOIL SURFACE MUST BE ANCHORED IMMEDIATELY AFTER SPREADING.
4. WHEN STRAW OR WOOD CHIPS ARE USED, IT IS SUBJECT TO BE BLOWN AWAY BY WIND. IT MUST BE ANCHORED IMMEDIATELY AFTER SPREADING.
5. ANCHORING METHODS:
  - A. GRAVE WITH A WEIGHTED, STRAIGHT, NOTCHED DISC OR A MULCH ANCHORING TOOL TO PUNCH THE MULCH INTO THE SOIL.
  - B. TACK WITH A LIQUID TACKIFIER DESIGNED TO HOLD MULCH IN PLACE. APPLICATIONS OF LIQUID MULCH BINDER AND TACKIFIER SHOULD BE HEAVILY APPLIED UNIFORM TO THE REST OF THE AREA. BINDER AND TACKIFIER SHOULD BE HEAVILY APPLIED UNIFORM TO THE REST OF THE AREA. BINDER AND TACKIFIER SHOULD BE HEAVILY APPLIED UNIFORM TO THE REST OF THE AREA. BINDER AND TACKIFIER SHOULD BE HEAVILY APPLIED UNIFORM TO THE REST OF THE AREA.
  - C. ON STEEP SLOPES AND OTHER AREAS REQUIRING A HIGHER LEVEL OF PROTECTION (SUCH AS GRADES, DRAINAGE CHANNELS, AND EROSION CONTROL STRUCTURES), COVER WITH HEAVY NATURAL NETS WITHOUT ADDITIONAL MULCH. SYNTHETIC NETTING WITH ADDITIONAL MULCH OR EROSION CONTROL STRUCTURES (SUCH AS GRADES, DRAINAGE CHANNELS, AND EROSION CONTROL STRUCTURES), COVER WITH HEAVY NATURAL NETS WITHOUT ADDITIONAL MULCH. SYNTHETIC NETTING WITH ADDITIONAL MULCH OR EROSION CONTROL STRUCTURES (SUCH AS GRADES, DRAINAGE CHANNELS, AND EROSION CONTROL STRUCTURES), COVER WITH HEAVY NATURAL NETS WITHOUT ADDITIONAL MULCH.

MU MULCHING



1. LAY THE SODS IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO THE FIRST ROW.
2. LAY THE SODS IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO THE FIRST ROW.
3. LAY THE SODS IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO THE FIRST ROW.
4. LAY THE SODS IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO THE FIRST ROW.
5. LAY THE SODS IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO THE FIRST ROW.

SOD SODDING DETAILS

NOT TO SCALE

**Roadway Management LLC**  
Phone: (251) 332-1232 • Fax: (251) 332-2258

DRAWN BY: JAC  
DATE: 11-29-2016  
REVISED: 04-21-2017

ESPC DETAILS

SHEET 16 OF 17

NEW RETAIL STORE  
AL HIGHWAY 161  
ORANGE BEACH, AL  
BALDWIN COUNTY





**AIG**

Engineering & Architecture

702 E. 10th Street  
Savannah, GA 31405  
Phone: 252-476-1044  
aigallegoria@gmail.com



**NEW RETAIL STORE**

ORANGE BEACH, ALABAMA

DATE: 19.12.16

DESIGN: AIG

DATE: 4/20/2017

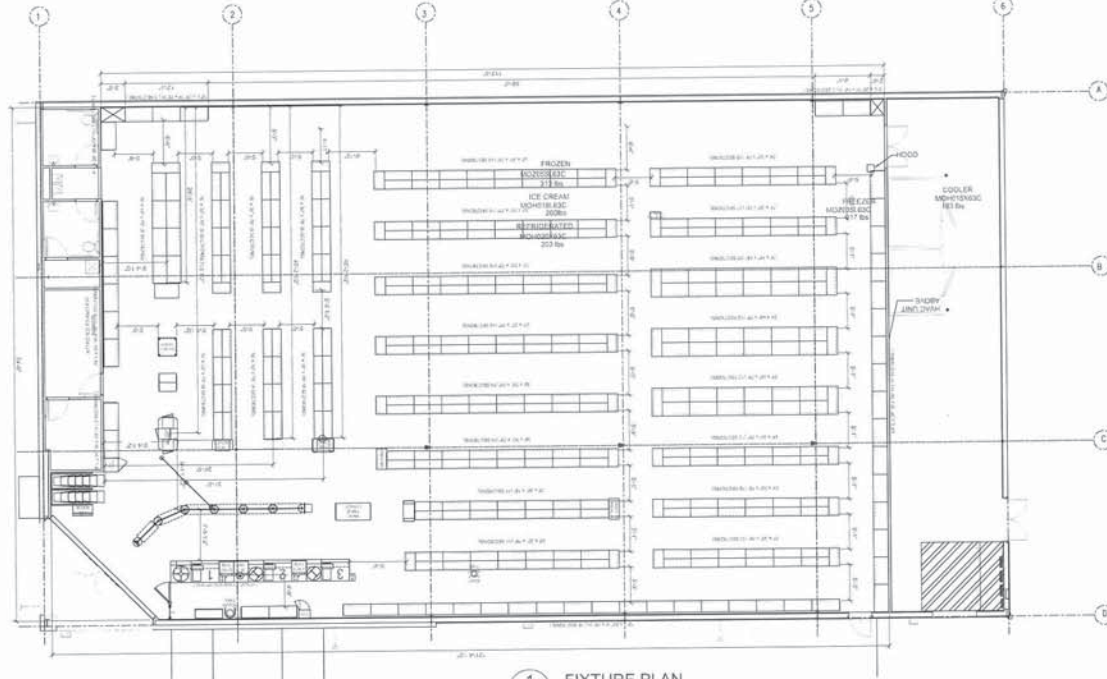
REVISIONS:

WALTER:

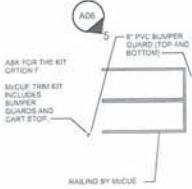
FIXTURE PLAN

WALTER:

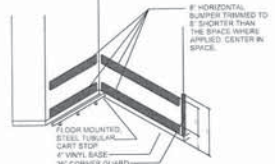
**F1**



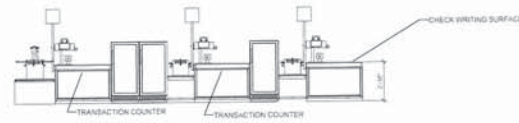
**1** FIXTURE PLAN  
F1  
1/8" = 1'-0"



**2** CART STOP DETAILS  
F1  
N.T.S.



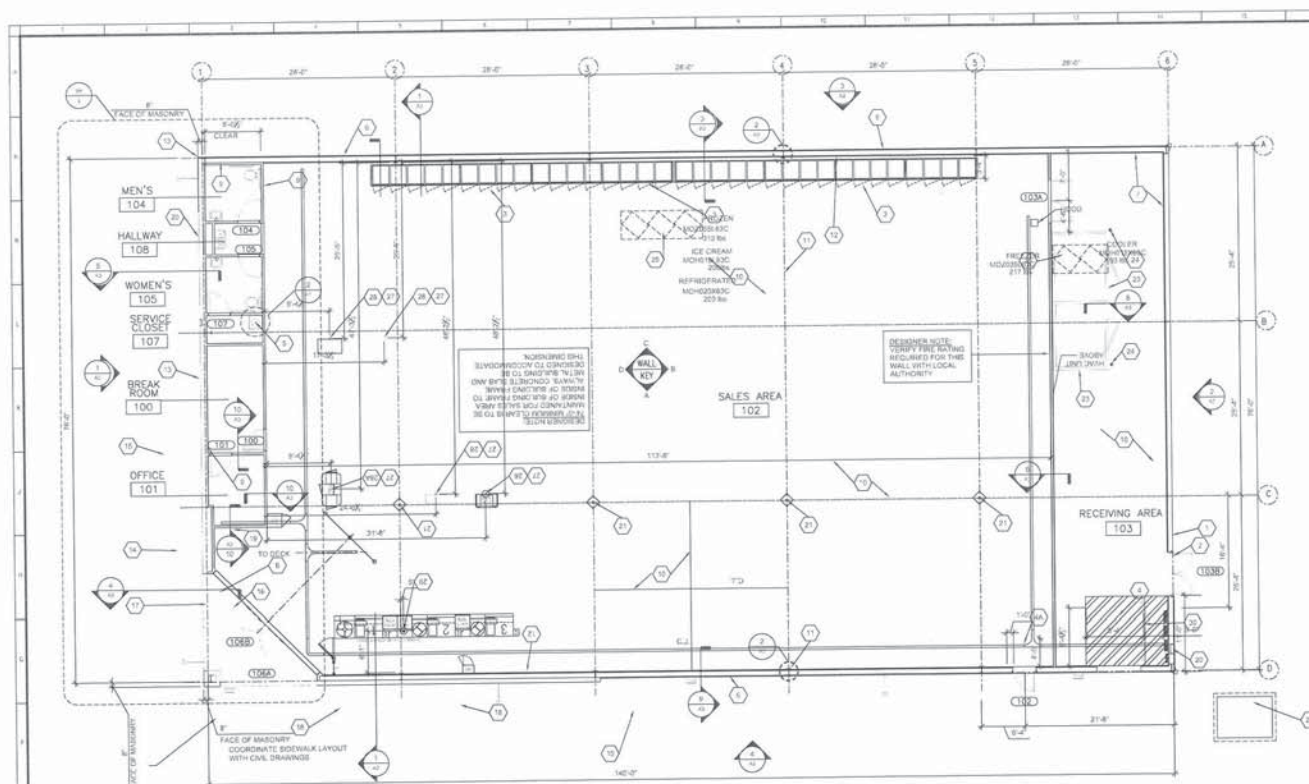
**A - SERVICE COUNTER PLAN**



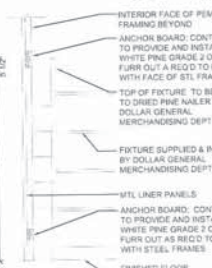
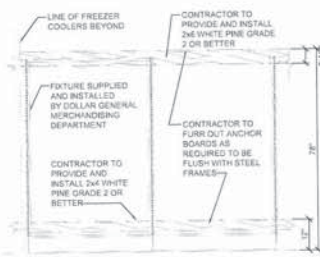
**B - ELEVATION**

**2** SERVICE COUNTER DETAILS  
F1  
N.T.S.

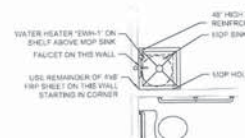
NOTE: FRONT CHECKOUT COUNTER TO BE PROVIDED BY DOLLAR GENERAL AND REINSTALLED AT DOLLAR GENERAL'S DISCRETION. COUNTERS SHALL INCLUDE A PORTION OF AT LEAST 24\"/>



1 FLOOR PLAN  
1/8" = 1'-0"



- DRINK FIXTURE WALL MOUNTING SUPPORT NOTES:
1. PROVIDE AND INSTALL 2X6 WHITE PINE - GRADE 2 OR BETTER.
  2. PROVIDE AND INSTALL 2X4 WHITE PINE - GRADE 2 OR BETTER.
  3. FASTEN THE 2X6 TO THE WALL WITH THE TOP EDGE OF THE BOARD AT 7'8" A.F.F. REFER TO FINAL DO FIXTURE PLAN FOR LENGTH AND LOCATION OF BOARD.
  4. FASTEN THE 2X4 TO THE WALL WITH THE TOP EDGE OF THE BOARD AT 12" A.F.F. REFER TO FINAL DO FIXTURE PLAN FOR LENGTH AND LOCATION OF BOARD.
  5. PRE-DRILL PILOT HOLES IN ALL BOARDS PRIOR TO INSTALLATION TO PREVENT WOOD SPLITS.
  6. SECURE THE 2X6 WITH TWO SELF-TAPPING SCREWS. MINIMUM SCREW SIZE IS 8 X 1 1/4".
  7. FASTEN THE 2X4 WITH SELF-TAPPING SCREWS PER WALL STUD. MINIMUM SCREW SIZE IS 8 X 1 1/4".
  8. CAULK THE EDGES OF THE 2X6 AT THE TOP AND BOTTOM WHERE IT MEETS THE WALL PRIOR TO PAINTING.
  9. PRIME AND PAINT BOTH BOARDS TO MATCH WALL COLOR.



2 ENLARGED PLAN AT MOP SINK  
N.T.S.

CONSTRUCTION PLAN SYMBOLS

DOOR INSTALLATION. SEE DOOR SCHEDULE ON SHEET 4 FOR MORE INFORMATION.

FLOOR PLAN KEYED NOTES

1. RECEIVING DOOR BUFFER.
2. DOOR SCOPE.
3. FLOOR SINK FOR COOLER AND FREEZER CONDENSATE.
4. STRIKE FLOOR FOR DESIGNATED CLEAR EGRESS PATH (PAINT YELLOW) AND DESIGNATED EYE PANEL CLEARANCE (PAINT RED).
5. STRIKE FLOOR FOR DESIGNATED CLEAR ADA EGRESS PATH (PAINT YELLOW).
6. PROVIDE AND INSTALL A TEN GALLON WATER HEATER OR LARGER IF REQUIRED BY CODE ABOVE THE MOP SINK.
7. METAL STUD WITH 1/2" (2" P.C. 80.5% WALL SECTION SHEET 1-3).
8. METAL LINER PANELS TO 8'4" A.F.F. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
9. DIMENSIONS ARE TO COLUMN LINE UNLESS OTHERWISE NOTED.
10. METAL BUILDING PANELS (BY PRE-ENGINEERED BUILDING MANUFACTURER).
11. PROVIDE CONCRETE SLAB WITH STRUCTURAL MIN. SIXTY-4 WELDED WIRE MESH OVER POLYETHYLENE VAPOUR BARRIER (MIN. 10 MIL THICK) OVER CRUSHED 2" CONCRETE BASE. TYPICAL ON FLOORING. PROVIDE CONTROL JOINTS AT 14'-0" ON CENTER EACH WAY MAX. SEE SHEET 3.
12. METAL BUILDING FRAME. REFER TO DETAIL 3-3 FOR ADDITIONAL INFORMATION.
13. METAL LINER PANELS (2009 GAUGE) WITH 1/2" GYPSUM BOARD. SEE INTERIOR ELEVATIONS ON SHEET 4. PROVIDE 3/8" METAL BUILDING INSULATION.
14. 8" SPILT FACED CMU PAINTED SH 400T BALANCED BEIGE. ALSO FACE OF BLOCK WITH 1/8" GAL. SBT. PROVIDE PROPER ANCHORAGE TO STRUCTURE.
15. SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
16. BROOK FINISH CONCRETE SIDEWALK. TYP. REFER TO CIVIL.
17. BRIDGE STONEFRONT SYSTEM. REFER TO SHEETS 44 AND 45 FOR ADDITIONAL INFORMATION. CONTRAINT METAL LINER PANELS TO DECK.
18. LINE OF SLOTTED OR CANOPY ABOVE.
19. A.S.A. COMPLAINT H.C. RAMP WITH PAINTED SIDES TO ACCESSIBLE PARKING STALLS. REFER TO CIVIL.
20. MC CUL CART AND BUNKER DIAMETERS 3'-0" A.F.F. - DRINK TUBS FOR THIS PROTOTYPE.
21. WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
22. ROUND STEEL PIPE COLUMNS WITH RECESSED BASE. PLATE PAINT SECOND CONCRETE POUR SMOOTH BLACK UNCO. PAINT STEEL COLUMN SMOOTH PURE WHITE. NEAR COLUMN WITH TIGHT LOOP CARPET (BLACK) 4" HIGH AT BASE.
23. APPROXIMATE LOCATION FOR NEW SCISSOR LIFT. VERIFY FINAL LOCATION WITH DOLLAR GENERAL. PROVIDE REINFORCED CONCRETE PAD WITH STRUCTURAL MIN. OF 8" THICK UNDER LIFT - REINFORCE WITH #4 REBAR AT 12" O.C. EACH WAY OR EQUAL. SEE STRUCTURAL DRAWINGS. COORDINATE VOLTAGE OF LIFT WITH STORE ELECTRICAL.
24. METAL PLYWOOD WALL PROTECTION AND 2X12 WOOD SHOT AT COOLER AND FREEZER WALLS.
25. 1" DIAMETER PIPE WHOLE FLEXICORE BOLLARDS 48" TALL ABOVE FINISHED FLOOR.
26. LOCATION OF ROOF MOUNTED CONDENSERS FOR REFRIGERATION. BY DOLLAR GENERAL. CONTRACTOR TO PROVIDE DISCONNECT.
27. MAINTAIN 2" AIR GAP BETWEEN THE WALK IN COOLER / FREEZER AND THE WALL FOR VENTILATION.
28. REFRIGERATION BY DOLLAR GENERAL.
29. END CAP COOLER/FREEZER TO BE HARDWIRED THROUGH SO COND WITH COILS AT END. DO NOT LEAVE BOTTOM OF COILS HANGING AT 8' A.F.F. (SEE ELECTRICAL SO COND ANCHORS TO FLOORING ABOVE. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL FUTURE PLAN.
30. COIL COOLER TO BE HARDWIRED THROUGH SO COND WITH COILS AT END. DO NOT LEAVE BOTTOM OF COILS HANGING AT 8' A.F.F. (SEE ELECTRICAL SO COND ANCHORS TO FLOORING ABOVE.
31. POWER POLE. COORDINATE FINAL LOCATION WITH FINAL DOLLAR GENERAL. FUTURE PLAN (FPL).
32. MC CUL RAILING IN FRONT OF ELECTRICAL PANEL. 8" LONG WITH TWO TOP RAILINGS WITH NO MIDDLE POST.

NOTE:  
METAL BUILDING COLUMNS SHALL BE STRAIGHT.

NOTE:  
THE ALLOWABLE CLEAR DISTANCE BEHIND THE SALES FLOOR FIXTURES BE 1/4" MAXIMUM TO THE FACE OF BRICK WALL. IF IT IS LARGER THAN THE PROVIDE HORIZONTAL WOOD FLOORING STRIPS. PAINTED WALL CO. OR MOUNTED ON THE DRYWALL AT 7'8" AFF TO THE TOP OF THE STRIP TO REDUCE THE GAP TO LESS THAN 1/4".

**AIG**  
Engineering Consultants

702 E. 30th Street  
Tomball, TX 77468  
Phone: 281-776-5044  
aig@tomball.com

REGISTERED PROFESSIONAL ENGINEER  
STATE OF ALABAMA  
NUMBER 8225  
AIG

**NEW RETAIL STORE**

ORANGE BEACH, ALABAMA

19.12.16

AG

4/20/2017

19.01.16

FLOOR PLAN

19.01.16

**A1**



NEW RETAIL STORE  
GRAND BEACH, ALABAMA

DATE: 19.12.16

BY: AIG

DATE: 4/20/2017

REVISION:

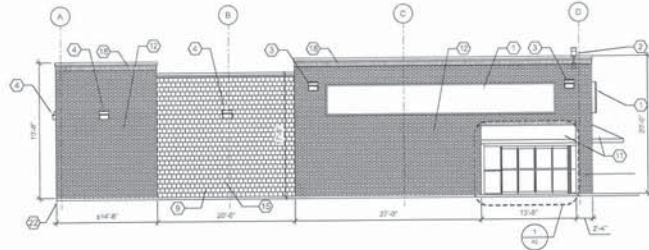
SHEET 201  
EXTERIOR ELEVATIONS

PROJECT NO:

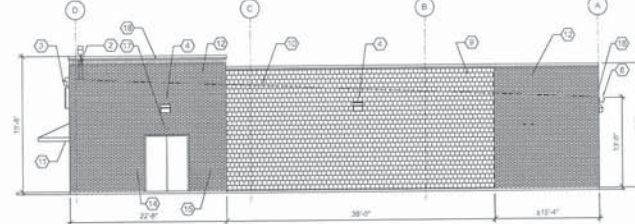
**A2**

**ELEVATION KEYED NOTES**

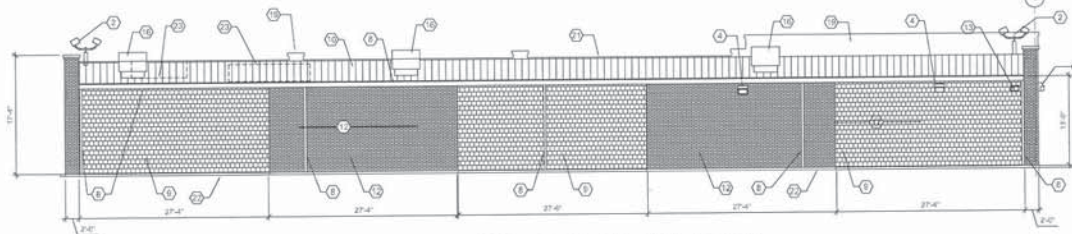
1. SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL, COMP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
2. BIDIRECTIONAL SECURITY LIGHT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. WALL PACK, 18"X4" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. WALL SOURCE MOUNTED 14" A.F.F.
5. (NOT USED.)
6. RECEPTACLE. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
7. TRIM - SEE SHEET S1 FOR COLOR.
8. GUTTER AND DOWNSPOUT - SEE SHEET S1 FOR COLOR.
9. 8" PRECASTED CONCRETE VASCONY UNIT WITH CENTER SCORP FOR APPEARANCE OF RIB BLOCKS.
10. STANDING SEAM METAL ROOF, GALVALUME FINISH.
11. CAVIUS AIRING.
12. BRICK VENEER, ATTACHED WITH BRICK TIE 18" O.C. VENT. AND MAX. 32" PORE.
13. VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
14. CLOZ BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
15. WALL HYDRANT. REFER TO PLUMBING DRAWING P1 FOR ADDITIONAL INFORMATION.
16. HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
17. OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECKING DOOR AT 8'-0" A.F.F.
18. BRICK BOLDER COURSE.
19. PARAPET RYPING.
20. (NOT USED.)
21. (NOT USED.)
22. FINISH GRADE TO BE A MINIMUM OF 8" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
23. ROOF MOUNTED REFRIGERATION EQUIPMENT.



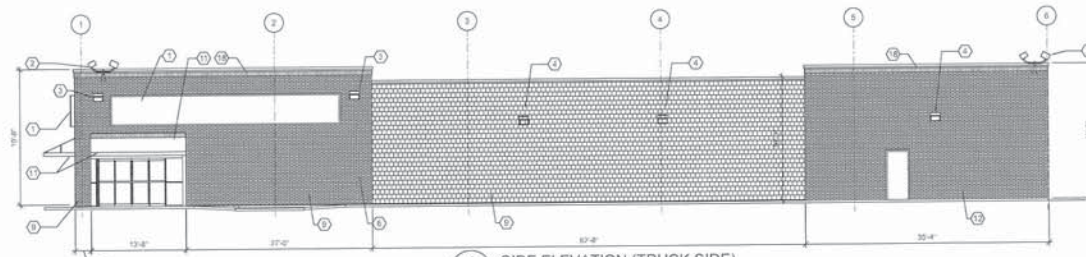
1 FRONT ELEVATION  
A2 N.T.S.



2 REAR ELEVATION  
A2 N.T.S.



3 SIDE ELEVATION (NO ACCESS)  
A2 N.T.S.



4 SIDE ELEVATION (TRUCK SIDE)  
A2 N.T.S.





PROTOTYPICAL MAIN BUILDING SIGN FOR 'A', 'B', 'C' & 'D' SCHEMES



THIS SIGN IS TO BE PROVIDED AND INSTALLED BY THE DEVELOPER OR CONTRACTOR AT THE BEGINNING OF CONSTRUCTION PROJECT.

Sign Size	Sign Weight	# Of Circuits	Amps	Voltage
3'-0" x 26'-0" box	441 lbs.	(1) 15 A	5	115
4'-0" x 33'-3" box	750 lbs.	(1) 15 A	8.4	115

Sign Size	Sign Weight	# Of Circuits	Amps	Voltage
18"	215 lbs.	(2) 15 A	19.6	115
24"	288 lbs.	(1) 15 A & (1) 20 A	23.45	115
30"	387 lbs.	(2) 20 A	28	115
36"	649 lbs.	(2) 15 A & (1) 20 A	32.9	115

Sign Size	Sign Weight	# Of Circuits	Amps	Voltage
4' x 8'	188 lbs.	(1) 15 A	1.7	115
5' x 10'	375 lbs.	(1) 15 A	3.4	115
6' x 16'	738 lbs.	(1) 15 A	5	115

- SIGN SPECIFICATIONS:**
- BUILDING SIGNS: PROVIDE CONDUIT AND WIRE FROM ELECTRICAL PANEL TO THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN OF 18" TO 36" LBS. NOTE: IF THE LEASE SPECIFIES A 3'-0" X 42'-0" BUILDING SIGN OR 84" LETTER SET OR LARGER, 2 qty - 10/2 WIRE WITH GROUND.
  - PYLON SIGNS: PREWIRE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND.
  - FINAL ELECTRICAL CONNECTIONS FOR SIGN SHALL BE THE SIGN VENDORS RESPONSIBILITY SINCE THE 'J' BOX AND WIRES ARE IN PLACE.
  - SEE CHART ABOVE FOR SIGN SPECIFICATIONS.
  - SEE SHEET A8 FOR SIGN BRACING DETAILS.
  - PYLON SIGN CABINETS TO CLEAR 10' FROM GRADE AND EDGE SHALL BE LOCATED NO CLOSER THAN 10' TO ANY OVERHEAD UTILITY LINES.



THIS IS THE PRIMARY PYLON SIGN FOR ALL LOCATIONS.

1 SIGNAGE ELEVATIONS  
SCALE: NTS



THIS SIGN IS FOR SPECIALTY USE ONLY.



THIS SIGN IS FOR SPECIALTY USE ONLY.



THIS SIGN IS FOR SPECIALTY TUBETONARYS FOR SPECIALTY USE ONLY.

**AIG**  
Engineering Consultants

702 E. 16th Street  
Savannah, GA 31405  
Phone: 252-476-1644  
aig@sigengr.com



NEW RETAIL STORE  
GRANDE BEACH, ALABAMA

PROJECT: 19.12.16  
DRAWN: AIG  
DATE: 4/20/2017  
REVISIONS:

SHEET TITLE  
SIGN DETAILS

SHEET NO.

**A7**



0105-CU-17  
file copy

Landscaping shown is represented at  
a mature stage. Size and shape of the  
vegetation may vary at initial planting.



RECEIVED

APR 25 2017

O.B. COMMUNITY DEV.





Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





# Conditional Use Permit Presentation

Applicant

The Broadway Group, LLC

May 8, 2017

Provided to  
PC by  
Broadway Group  
5-8-17  
rst

# Proposed Dollar General

Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





# Who is The Broadway Group?

- A commercial developer and general contractor based out of Huntsville, AL.
- A property owner in the City of Orange Beach, which makes the City of Orange Beach my second home.
- Other commercial developments of The Broadway Group in the City of Orange Beach include:
  - Dollar General 25130 Canal Road
  - Dollar General 24881 Perdido Beach Boulevard



# Dollar General at 25130 Canal Road





# Dollar General at 24881 Perdido Beach Boulevard





## **Dollar General at 24881 Perdido Beach Boulevard Improvement to Avalon Lane**

- The Broadway Group re-platted this entire subdivision to clean-up existing right-of-way issues. Due to the initial substandard construction of Avalon Lane we demolished the old road and rebuilt it to City standards.
- Costs associated with this public improvement exceeded \$175,000.



# **Dollar General at 24881 Perdido Beach Boulevard Improvement to Avalon Lane**





# **Dollar General at 24881 Perdido Beach Boulevard Improvements to Avalon Lane**



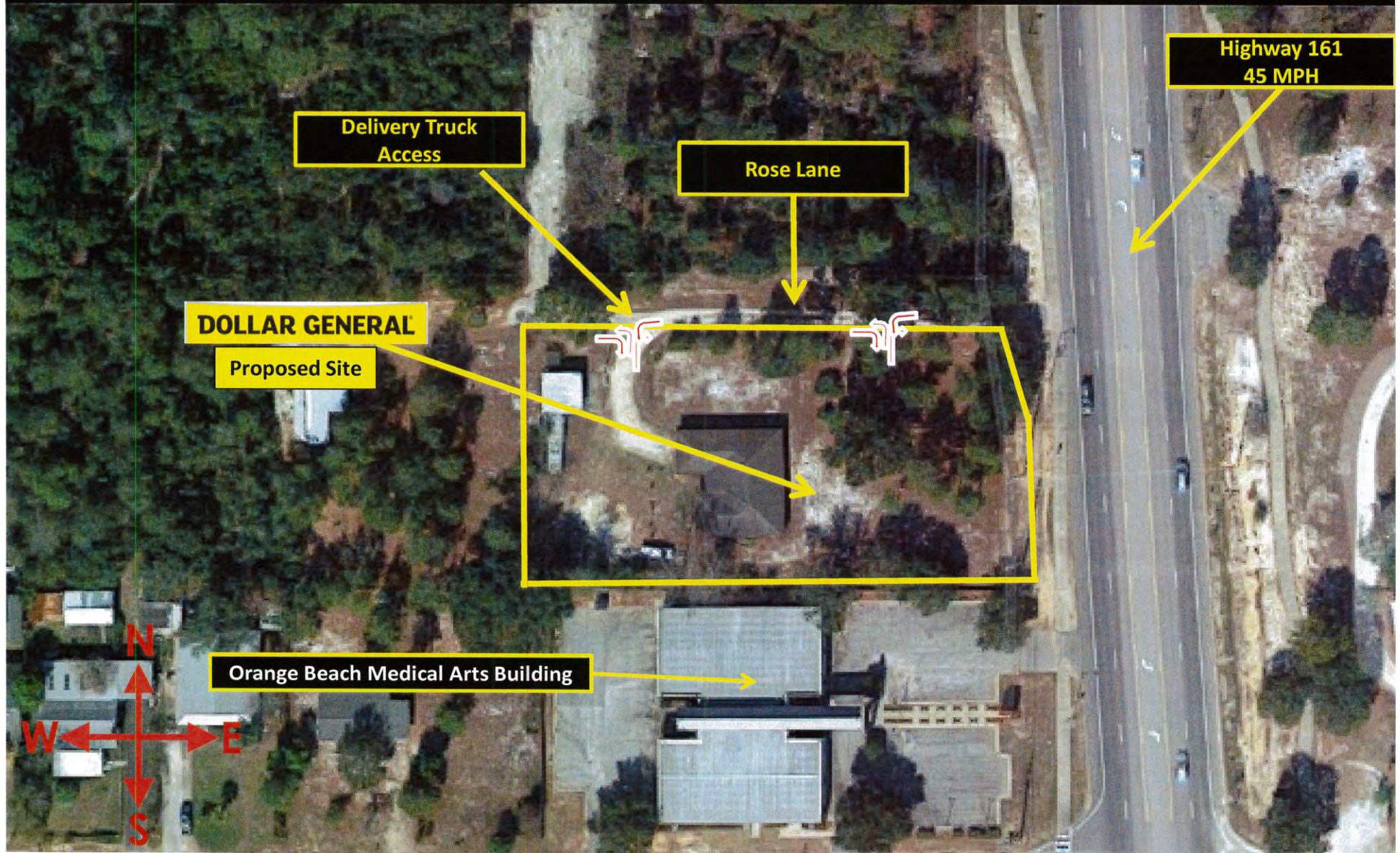


# **Proposed Dollar General location**

- 4225 Orange Beach Boulevard
- Southern property at the intersection of Orange Beach Boulevard and Rose Lane.
- Approximately .90 acre tract
- Owned by Mr. Hollis William



# Aerial



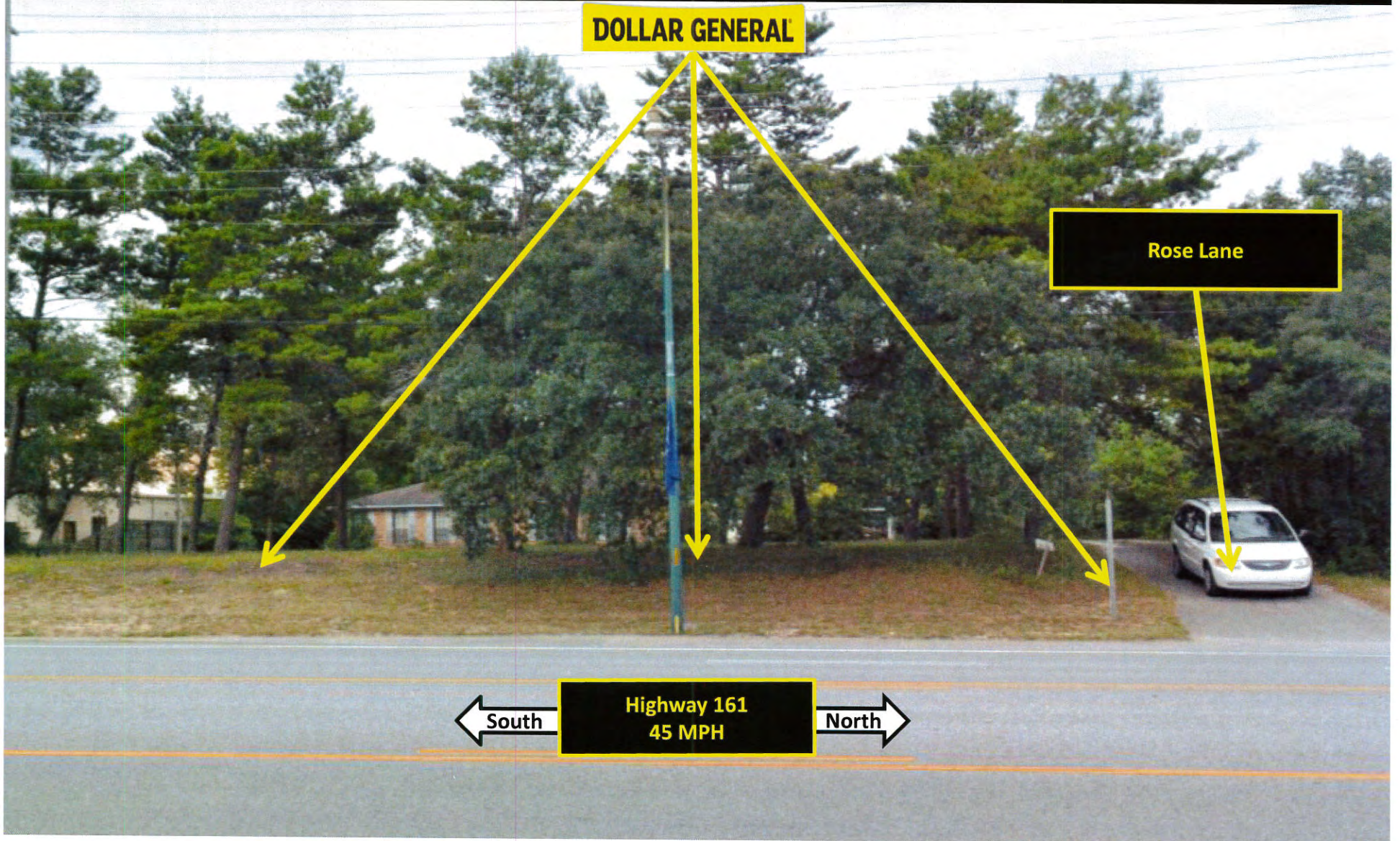


# Site

**DOLLAR GENERAL**

**Rose Lane**

South **Highway 161**  
45 MPH North

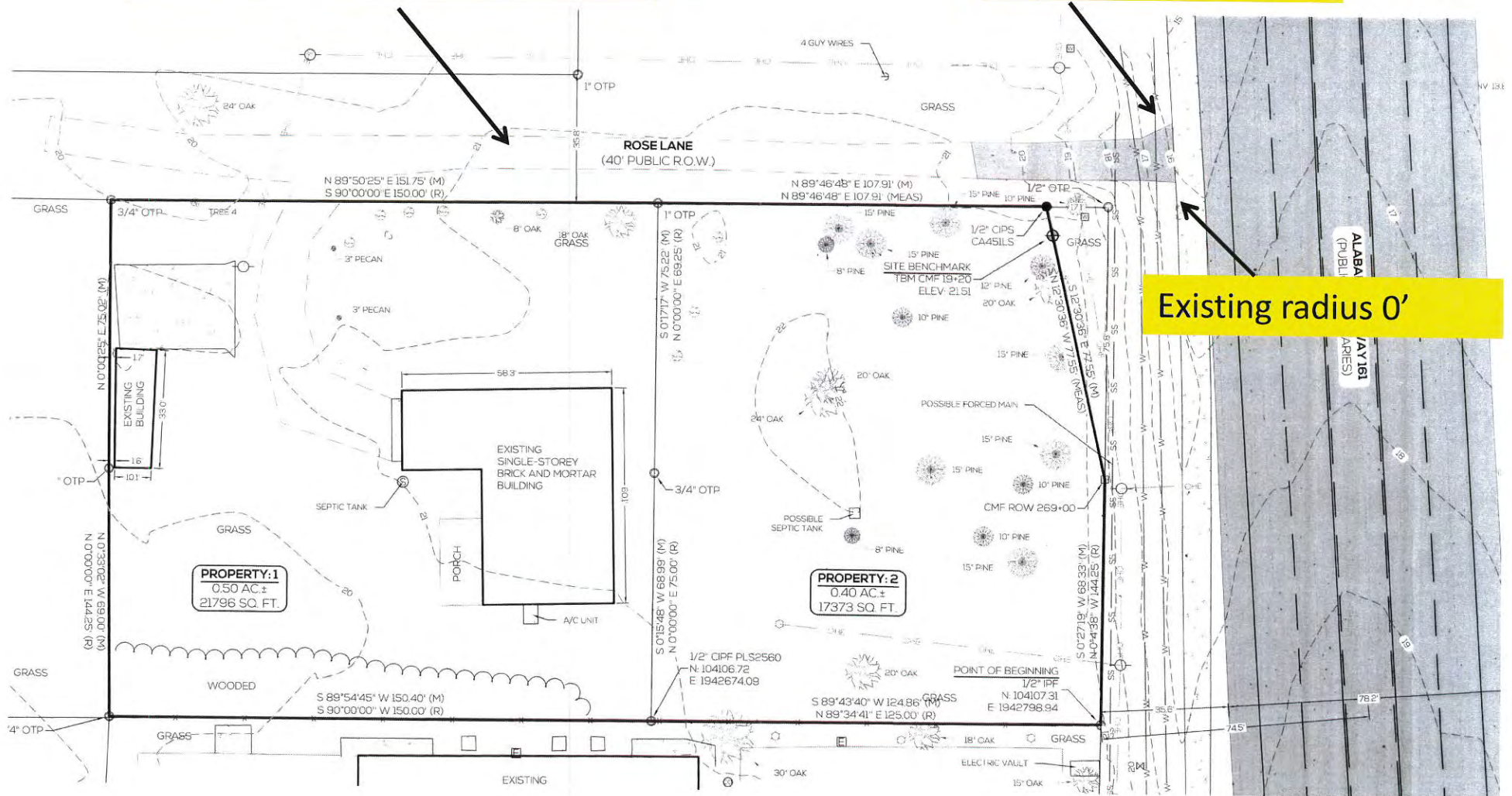




# Site – Survey

Existing width of Rose Lane is 11'

Existing radius 10'



Existing radius 0'

## Improvement to Rose Lane

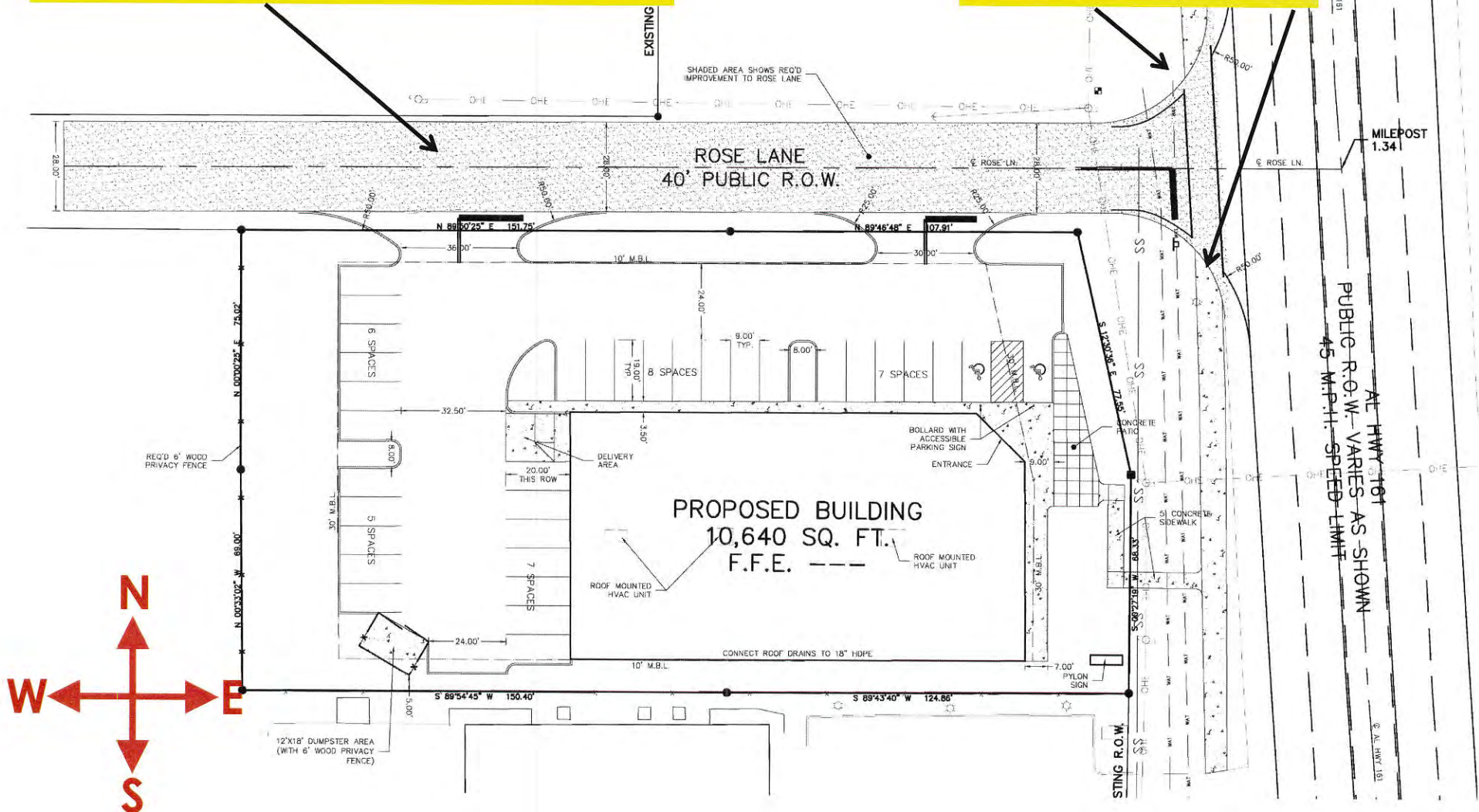
- Initially we increased the radius from 0'-10' to 25' on both sides of Rose Lane. As per staff instruction we increased this radius to 50' for safer traffic movement.
- Improved the currently substandard Rose Lane to 28' wide by 359' in depth, including utility installation (\$165,800).



# Proposed Site Plan

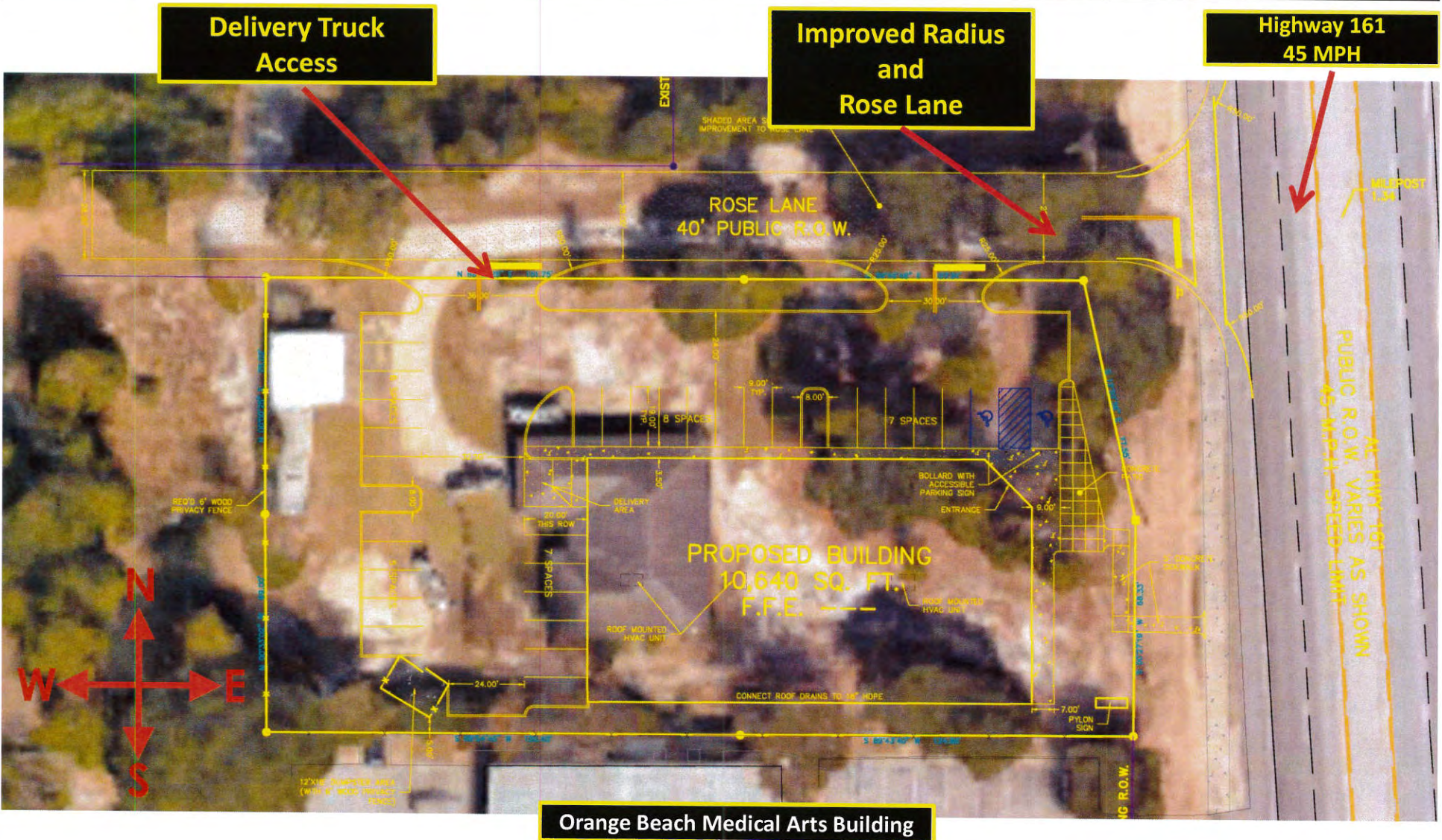
Increased width of Rose Lane is 28'

Increased radius 50'





## Aerial – Site Plan





## Site Plan Details

- Store front pulled to Highway 161 per staff request.
- Exceeding landscaping requirements.
- Stormwater outfall will be piped directly North of site into existing wetlands per staff request. (This will eliminate the need for ditch maintenance)

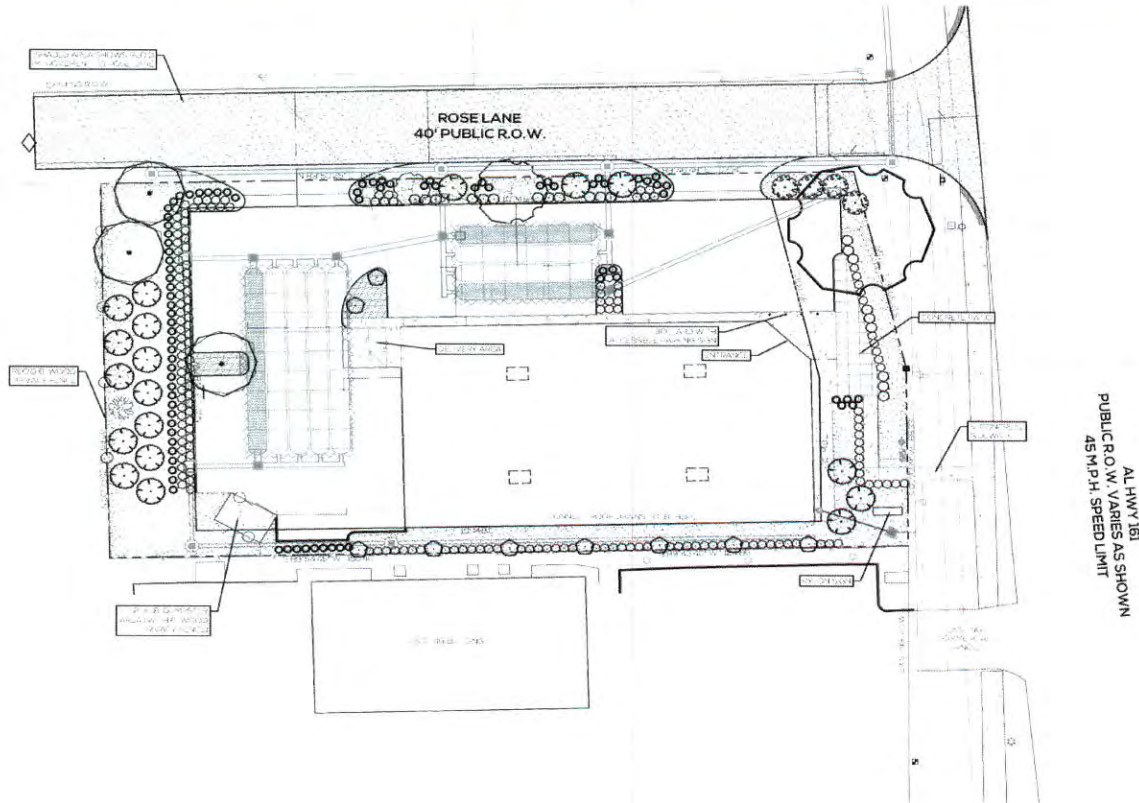
## Site Plan Details

- Relocated street signage to preserve a beautiful Live Oak tree on the corner of the property.
- Site lighting will be sensitive to the neighbors around our site.
- Plaza area with bench for customer use.



# Proposed Landscape Plan

## \*\*Exceeding Ordinance requirements\*\*



### LANDSCAPE NOTES:

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
8. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
9. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
10. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
11. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
12. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
13. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
14. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.
15. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.

### LANDSCAPE REQUIREMENTS

**PERIMETER LANDSCAPE**  
10% OF TOTAL LANDSCAPE SHALL BE TREES MIN 10"  
PERIMETER TREES REQUIRED: 10  
PERIMETER TREES MIN 10"  
PERIMETER TREES MIN 10"

**INTERIOR LANDSCAPE**  
10% OF TOTAL LANDSCAPE SHALL BE TREES MIN 10"  
TOTAL LANDSCAPE ISLAND AREA: 400 SF  
INTERIOR TREES MIN 10"

**TOTAL SITE REQUIREMENTS**  
A TOTAL OF 20 TREES MIN 10"  
A TOTAL OF 20 TREES MIN 10"  
A TOTAL OF 20 TREES MIN 10"



NOTE: ALL CITY OF ALBUQUERQUE REQUIREMENTS HAVE BEEN INCORPORATED BY THE DESIGNER. THE DESIGNER IS RESPONSIBLE FOR ANY VIOLATIONS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY VIOLATIONS.

### PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE	QTY
	<i>Prunus serotina</i> / Crimson Pointe / Crimson Pointe Flowering Plum	D18	3" GAL	12" min	4
	<i>Quercus alba</i> / White Oak	D18	3" GAL	12" min	5
	<i>Trachycarpus fortunei</i> / Japanese Palm	D18	3" GAL	12" min	16
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SIZE	O.C. SPACING	QTY
	<i>Illex vomitoria</i> / Holly / Dwarf Yaupon	3 GAL	5" min		65
	<i>Macaranga capensis</i> / Shinygrass	3 GAL	5" min		65
	<i>Myrica cerifera</i> / Wax Myrtle	7 GAL	5" min		4
	<i>Rhaphiophloeum unguiculatum</i> / Dwarf Yaupon Hawthorne Standard	3 GAL	24" min		2
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	O.C. SPACING	SPACING	QTY
	<i>Cynodon dactylon</i> / Bermuda Grass	SOD	5" o.c.	5" o.c.	23.075
	<i>Perovskia atriplicifolia</i> / Little Bl / Lady Blue Russian Sage	8" Pot	30" o.c.	30" o.c.	66

NOTE: THE OWNER, LESSEE, OR HIS AGENT SHALL BE RESPONSIBLE FOR PROVIDING MAINTENANCE AND PROTECTING ALL LANDSCAPING FROM HEALTHY AND GROWING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN AND THE CITY OF ALBUQUERQUE LANDSCAPE ORDINANCE.

NOTE: THE SOD SHALL BE PLACED ON THE PREPARED SURFACE WITH THE BACKS IN CLOSE CONTACT. CRACKS BETWEEN BLOCKS OF SOD SHALL BE CLOSED WITH SMALL PIECES OF SOD AND ACCEPTABLE LEANING TO SOIL SHALL BE USED TO FILL JOINTS. THE ENTIRE SODDED AREA SHALL THEN BE TAMPED IN PLACE IN A SATISFACTORY MANNER AND WATERED AS NECESSARY.



# Existing Live Oak at front corner of property





# Live Oak at along Rose Lane





# Live Oak at along Rose Lane





# Birch at the rear of the property





# Rendering of proposed Dollar General



Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.



# Rendering of proposed Dollar General

Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.





# Rendering of proposed Dollar General



Landscaping shown is represented at a mature stage. Size and shape of the vegetation may vary at initial planting.



# Rendering of proposed Dollar General





# Rendering of proposed Dollar General





# Rendering of proposed Dollar General



# Conditional Use Permit Request

- For this conditional use permit request, we have attempted to take into account the spirit of the City of Orange Beach's Zoning Ordinance.
- The maximum allowable building coverage in Neighborhood Business zoning is at 56%. Our building coverage is 27%.



# Why is Dollar General appropriate for Neighborhood Business Zoning?

- Dollar General stands for convenience, quality brands and low prices. Dollar General's successful prototype makes shopping a truly hassle-free experience. We design small neighborhood stores with carefully edited merchandise assortments to make shopping simpler. We don't carry every brand and size, just the most popular ones.
- The average Dollar General customer completes her shopping trip in less than 10 minutes.

# **DOLLAR GENERAL®**

## **Some of What You Can Find Here:**

- Large Selection of OTC Pharmaceuticals, Vitamins
- Beauty/Cosmetics
- Toys and School Supplies
- Pet Food/Pet Supplies
- Apparel
- Greeting Cards & Gift Wrap
- Party Supplies
- Baby Items (Diapers, Formula, Bottles, Etc.)
- Drinks, gatorade, bottled waters, cokes, etc.
- Dairy items (ice cream, milk, etc.)
- Herbs and spices
- Batteries and flashlights
- Recreational Items (kiddie pools, coolers, grilling & camping items)
- Bug Spray
- Mailing Supplies
- Cleaning Supplies
- Laundry Cleaners
- Household paper (towels, toilet, facial)
- Zip lock bags, tupperware storage
- Beach Supplies, Sunscreen, hats, floats, etc.
- Auto Supplies
- Organizational Items
- Seasonal Holiday Items



# Dollar General to Be Exclusive Retailer of Rexall® Brand Products March 24, 2010

- ***Families who have trusted Rexall® for generations can now turn to Dollar General for their favorite products***
- GOODLETTSVILLE, Tenn. ([BUSINESS WIRE](#)), March 24, 2010 - Dollar General today announced that it will be the exclusive retailer of Rexall brand products. The discount retailer is adding a wide variety of Rexall brand products to its merchandise assortment.
- “Rexall spent decades caring for generations of families in communities across the country through its drugstores, pharmacies and by developing high-quality, reputable products,” said Todd Vasos, Dollar General’s chief merchandising officer. “Dollar General is excited and proud to offer our customers that same heritage of dependable care and quality as we welcome Rexall products to our stores.”
- The introduction of Rexall at Dollar General is a union of two brands that represent time-tested quality and commitment to caring for its customers and their families. For more than 100 years, generations of Americans relied on the Rexall brand for their health care needs. This trusted brand is now available exclusively at Dollar General.
- Customers will find a broad assortment of Rexall brand products at Dollar General, including over-the-counter medications, first aid, foot care and dental care. Rexall vitamins and supplements are currently available at Dollar General stores, and a full line of Rexall products will be on Dollar General’s shelves this fall.



# Dollar General to Be Exclusive Retailer of Rexall® Brand Products March 24, 2010





# Dollar General to Be Exclusive Retailer of Rexall® Brand Products March 24, 2010





# Dollar General to Be Exclusive Retailer of Rexall® Brand Products March 24, 2010





# Dollar General to Be Exclusive Retailer of Rexall® Brand Products March 24, 2010



# Conditional Use Permit Request

- The Conditional Use permit will be to operate a Dollar General within Neighborhood Business Zone.



**\* One last important point \***





## **\* One last important point \***

- This proposed Dollar General is a relocation for the Dollar General located at 25241 Perdido Beach Boulevard.
- This Dollar General will be closing due to a restriction that Wal-Mart added to the property when they began their lease with the landlord for that shopping center.

# Thank you for your time!

- We do not believe that our request is contrary to the interest of the city's residents and will not adversely affect the public health, safety, morals, and general welfare of the surrounding impacted area.
- We greatly appreciate your time and consideration for this request.



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

Resolution awarding the bid for Art Center Site Improvements to McElhenney Construction Company, LLC, in an amount not to exceed \$644,809.71.

**Action Options/Recommendation:**

Bid opening was Thursday, July 27, 2017. One bid received.

**Source of Funding (if applicable) :**

Unbudgeted

---

**ATTACHMENTS:**

Description

- ▣ Resolution
- ▣ Engineer Recommendation
- ▣ Certified Tab



**RESOLUTION NO. 17-xxx**

**A RESOLUTION AWARDING THE BID FOR  
ART CENTER SITE IMPROVEMENTS  
TO MCELHENNEY CONSTRUCTION COMPANY, LLC  
IN AN AMOUNT NOT TO EXCEED \$644,809.71**

---

FINDINGS:

1. Bids for Art Center Site Improvements were received and opened on July 27, 2017.
2. City Council finds that the lowest responsible, responsive bid was submitted by McElhenney Construction Company, LLC, in the amount of \$644,809.71.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the bid for Art Center Site Improvements, as specified by the bid documents, is awarded to McElhenney Construction Company, LLC, in an amount not to exceed \$644,809.71;
2. That the Council authorizes the Mayor and City Clerk to execute and attest, respectively, a contract between the City of Orange Beach and McElhenney Construction Company, LLC, subject to final review by the City Attorney; and
3. That this Resolution shall become effective upon its adoption.

ADOPTED THIS 1<sup>st</sup> DAY OF AUGUST, 2017.

---

Renee Eberly  
City Clerk

**C E R T I F I C A T E**

I, Renee Eberly, City Clerk of the City of Orange Beach, Alabama, do hereby certify that the foregoing is a true and correct copy of Resolution No. 17-xxx, which was duly and legally adopted at a regular meeting of the City Council on August 1, 2017.

---

City Clerk



11143 Old Highway 31 Spanish Fort, AL 36527  
818 N. McKenzie Street Foley, AL 36535

[www.SawgrassLLC.com](http://www.SawgrassLLC.com)

Phone: (251) 544-7900  
Phone: (251) 970-7900

Renee Eberly  
City Clerk/Procurement Officer  
City of Orange Beach  
P.O. Box 458  
Orange Beach, Alabama 36561

RE: Art Center Improvements  
Bid Tab/Award Recommendation

Dear Renee:

Sawgrass Consulting, LLC, has reviewed the Bid submitted by McEllenney Construction Company, LLC, (McEllenney) and herewith submit the attached Bid Tab reflecting the Unit Prices for each pay item and the Total amount Bid of \$644,809.71.

As the only Bid submitted, We recommend the City award the Project to McEllenney in order to negotiate a Supplemental Agreement to value engineer the Project in an attempt to lower the overall cost.

Sawgrass appreciates the opportunity to work with the City on this Project and look forward to making it a successful addition to the City's Art Center Complex.

Sincerely,

  
Thomas E. Granger, PE  
President

**Bid Tabulation for City of Orange Beach - Arts Center Site Improvements**  
**Date: July 27, 2017**

CONSTRUCTION ITEMS				McElhenney Construction Co.	
ITEM #	DESCRIPTION	UNIT	QTY	UNIT PRICE	AMOUNT
201-A	CLEARING AND GRUBBING	ACRE	1	\$ 3,954.00	\$ 3,954.00
205-A1	REMOVE AND RELAY EXISTING 18" RCP	LF	18	\$ 50.95	\$ 917.10
205-A2	REMOVE AND RELAY EXISTING 24" HDPE	LF	52	\$ 29.39	\$ 1,528.28
206-B	EXISTING CONCRETE SIDEWALK REMOVAL	SY	100	\$ 12.15	\$ 1,215.00
206-C	EXISTING ASPHALT REMOVAL	SY	555	\$ 13.20	\$ 7,326.00
206-C3	REMOVE EXISTING CONCRETE HEADWALLS	EA	2	\$ 296.91	\$ 593.82
206-D	EXISTING CONCRETE CURB REMOVAL	LF	94	\$ 14.03	\$ 1,318.82
206-E	EXIST. DRAINAGE PIPE REMOVAL (SIZE VARIES)	LF	109	\$ 16.04	\$ 1,748.36
210-A	UNCLASSIFIED EXCAVATION	CY	865	\$ 28.85	\$ 24,955.25
210-D	BORROW EXCAVATION	CY	262	\$ 36.52	\$ 9,568.24
230-A	ROADBED PROCESSING	STA	19	\$ 241.00	\$ 4,579.00
301-A	CRUSHED AGGREGATE BASE COURSE, 6" THICK	SY	3,111	\$ 28.12	\$ 87,481.32
305-B1	6" SANDY/GRAVEL BASE MIX (GRASS PAVERS)	CY	300	\$ 122.02	\$ 36,606.00
305-B2	2" SANDY CLAY BASE (BRICK PAVERS)	SY	25	\$ 33.71	\$ 842.75
401-A	BIT. TREATMENT A	SY	234	\$ 6.73	\$ 1,574.82
405-A	TACK COAT (0.075 GAL/SY)	GAL	225	\$ 7.28	\$ 1,638.00
408-A	PLANNING/MILLING EXISTING ASPHALT	SY	308	\$ 11.24	\$ 3,461.92
424-A	1" BIT. CONCRETE WEARING SURFACE LAYER, 110 LBS/SY (NANCY LANE)	TON	60	\$ 128.37	\$ 7,702.20
424-A1	SUPERPAVE BIT. CONCRETE WEARING SURFACE LAYER. 135 LBS/SY	TON	16	\$ 128.37	\$ 2,053.92
424-A2	1-1/2" LIGHT DUTY BIT. CONCRETE WEARING SURFACE LAYER. 165 LBS/SY	TON	40	\$ 128.37	\$ 5,134.80
424-A3	1" MEDIUM DUTY BIT. CONCRETE WEARING SURFACE LAYER. 110 LBS/SY	TON	110	\$ 128.37	\$ 14,120.70
424-B	1-1/2" MEDIUM DUTY BIT. CONCRETE BINDER LAYER. 165 LBS/SY	TON	165	\$ 126.93	\$ 20,943.45
424-B1	2" BIT. CONCRETE LAYER, 220 LBS/SY (NANCY LANE)	TON	46	\$ 126.93	\$ 5,838.78
424-B2	SUPERPAVE BIT. CONCRETE UPPER BINDER LAYER, 330 LBS/SY	TON	41	\$ 126.93	\$ 5,204.13
424-B4	BINDER LAYER/LEVELING (110 LBS/SY-220 LBS/SY) (NANCY LANE)	SY	308	\$ 30.06	\$ 9,258.48
530-B1	22"X13" RCP ROADWAY PIPE	LF	170	\$ 78.47	\$ 13,339.90
535-A2	15" RCP	LF	20	\$ 128.04	\$ 2,560.80
533-A3	18" RCP	LF	92	\$ 75.23	\$ 6,921.16
600-A	MOBILIZATION	LS	1	\$ 51,591.00	\$ 51,591.00
606-A	4" PERFORATED UNDERDRAIN	LF	390	\$ 19.39	\$ 7,562.10
606-A1	4" PVC PIPE	LF	294	\$ 16.24	\$ 4,774.56
610-D	6 OZ. FILTER BLANKET, NON-WOVEN	SY	1,790	\$ 2.71	\$ 4,850.90
610-D1	SEPARATION FABRIC (TERRATEX GS)	SY	2,466	\$ 2.44	\$ 6,017.04
610-D2	FILTER CLOTH- UNDERDRAIN	SY	109	\$ 6.01	\$ 655.09
618-A	CONCRETE PAVEMENT, 6"	SY	1,412	\$ 57.18	\$ 80,738.16
618-A1	CONCRETE WALK INCLUDING H/C RAMP	SY	469	\$ 63.90	\$ 29,969.10
618-A2	CONCRETE FLUME	LF	5	\$ 108.23	\$ 541.15
619-A	15" PIPE END TREATMENT	EA	1	\$ 541.13	\$ 541.13
619-B	PRECAST 6:1 SLOPE PAVED HEADWALL, 18"	EA	1	\$ 1,202.51	\$ 1,202.51
621-A	JUNCTION BOX (8'X6')	EA	1	\$ 5,411.30	\$ 5,411.30
621-G	TYPE "PD" GRATE INLET, MODIFIED BOX 8'X6'	EA	1	\$ 7,696.07	\$ 7,696.07
621-C1	GRATE INLET	EA	3	\$ 2,440.29	\$ 7,320.87
621-H	NYLOPLAST RISER INLET	EA	5	\$ 1,177.09	\$ 5,885.45
623-B	TYPE "F" CURB CONCRETE	LF	36	\$ 18.63	\$ 670.68
623-B1	TYPE "N" CURB CONCRETE	LF	195	\$ 18.04	\$ 3,517.80
623-B2	CONCRETE CURB RIBBON	LF	237	\$ 18.04	\$ 4,275.48
650-B	TOPSOIL, 3" THICK (From Stockpiles)	CY	282	\$ 36.81	\$ 10,380.42



**Bid Tabulation for City of Orange Beach - Arts Center Site Improvements**  
Date: July 27, 2017

CONSTRUCTION ITEMS				McElhenney Construction Co.	
ITEM #	DESCRIPTION	UNIT	QTY	UNIT PRICE	AMOUNT
652-A	SEEDING, SEASONAL	ACRE	1	\$ 2,164.52	\$ 2,597.42
654-A	SOLID SODDING	SY	1,151	\$ 6.20	\$ 7,136.20
654-A1	BERMUDA SOD	SY	1,600	\$ 6.20	\$ 9,920.00
656-A	MULCHING	ACRE	1	\$ 1,503.08	\$ 1,803.70
665-J	SLIT FENCE, TYPE A	LF	700	\$ 5.36	\$ 3,752.00
665-Q	WATTLES	LF	100	\$ 9.08	\$ 908.00
701-A	SOLID WHITE, CLASS 1, TYPE A TRAFFIC STRIPE	LF	315	\$ 6.61	\$ 2,082.15
701-G	SOLID WHITE TRAFFIC STRIPE, CLASS 2, TYPE A	MILE	1	\$ 5,489.46	\$ 2,744.73
703-A	TRAFFIC CONTROL MARKINGS AND TRAFFIC ARROWS	SY	50	\$ 39.68	\$ 1,984.00
703-A1	TRAFFIC CONTROL LEGENDS, CL2, TYPE A, (WHITE)	SY	550	\$ 9.26	\$ 5,093.00
805-A	BRICK PAVERS	SY	25	\$ 60.13	\$ 1,503.25
805-A1	GRASS PAVERS	SY	1,600	\$ 44.49	\$ 71,184.00
999-A	GRASSED DITCH SWALE	LF	345	\$ 25.01	\$ 8,628.45
000-A	TRAFFIC CONTROL SCHEME	LS	1	\$ 9,485.00	\$ 9,485.00
<b>TOTAL BID AMOUNT</b>					<b>\$644,809.71</b>

I certify that this Bid Tabulation is true and accurate based on unit prices provided by each individual bidder.  
All corrections are evident and as shown in the tabulation.

  
Project Manager

  
Date

**Bid Tabulation for City of Orange Beach - Arts Center Site Improvements**  
Date: July 27, 2017

CONSTRUCTION ITEMS				McElhenney Construction Co.	
ITEM #	DESCRIPTION	UNIT	QTY	UNIT PRICE	AMOUNT
201-A	CLEARING AND GRUBBING	ACRE	1	\$ 3,954.00	\$ 3,954.00
205-A1	REMOVE AND RELAY EXISTING 18" RCP	LF	18	\$ 50.95	\$ 917.10
205-A2	REMOVE AND RELAY EXISTING 24" HDPE	LF	52	\$ 29.39	\$ 1,528.28
206-B	EXISTING CONCRETE SIDEWALK REMOVAL	SY	100	\$ 12.15	\$ 1,215.00
206-C	EXISTING ASPHALT REMOVAL	SY	555	\$ 13.20	\$ 7,326.00
206-C3	REMOVE EXISTING CONCRETE HEADWALLS	EA	2	\$ 296.91	\$ 593.82
206-D	EXISTING CONCRETE CURB REMOVAL	LF	94	\$ 14.03	\$ 1,318.82
206-E	EXIST. DRAINAGE PIPE REMOVAL (SIZE VARIES)	LF	109	\$ 16.04	\$ 1,748.36
210-A	UNCLASSIFIED EXCAVATION	CY	865	\$ 28.85	\$ 24,955.25
210-D	BORROW EXCAVATION	CY	262	\$ 36.52	\$ 9,568.24
230-A	ROADBED PROCESSING	STA	19	\$ 241.00	\$ 4,579.00
301-A	CRUSHED AGGREGATE BASE COURSE, 6" THICK	SY	3,111	\$ 28.12	\$ 87,481.32
305-B1	6" SANDY/GRAVEL BASE MIX (GRASS PAVERS)	CY	300	\$ 122.02	\$ 36,606.00
305-B2	2"SANDY CLAY BASE (BRICK PAVERS)	SY	25	\$ 33.71	\$ 842.75
401-A	BIT. TREATMENT A	SY	234	\$ 6.73	\$ 1,574.82
405-A	TACK COAT (0.075 GAL/SY)	GAL	225	\$ 7.28	\$ 1,638.00
408-A	PLANNING/MILLING EXISTING ASPHALT	SY	308	\$ 11.24	\$ 3,461.92
424-A	1" BIT. CONCRETE WEARING SURFACE LAYER, 110 LBS/SY (NANCY LANE)	TON	60	\$ 128.37	\$ 7,702.20
424-A1	SUPERPAVE BIT. CONCRETE WEARING SURFACE LAYER. 135 LBS/SY	TON	16	\$ 128.37	\$ 2,053.92
424-A2	1-1/2" LIGHT DUTY BIT. CONCRETE WEARING SURFACE LAYER. 165 LBS/SY	TON	40	\$ 128.37	\$ 5,134.80
424-A3	1" MEDIUM DUTY BIT. CONCRETE WEARING SURFACE LAYER. 110 LBS/SY	TON	110	\$ 128.37	\$ 14,120.70
424-B	1-1/2" MEDIUM DUTY BIT. CONCRETE BINDER LAYER. 165 LBS/SY	TON	165	\$ 126.93	\$ 20,943.45
424-B1	2" BIT. CONCRETE LAYER, 220 LBS/SY (NANCY LANE)	TON	46	\$ 126.93	\$ 5,838.78
424-B2	SUPERPAVE BIT. CONCRETE UPPER BINDER LAYER, 330 LBS/SY	TON	41	\$ 126.93	\$ 5,204.13
424-B4	BINDER LAYER/LEVELING (110 LBS/SY-220 LBS/SY) (NANCY LANE)	SY	308	\$ 30.06	\$ 9,258.48
530-B1	22"X13" RCP ROADWAY PIPE	LF	170	\$ 78.47	\$ 13,339.90
535-A2	15" RCP	LF	20	\$ 128.04	\$ 2,560.80
533-A3	18" RCP	LF	92	\$ 75.23	\$ 6,921.16
600-A	MOBILIZATION	LS	1	\$ 51,591.00	\$ 51,591.00
606-A	4" PERFORATED UNDERDRAIN	LF	390	\$ 19.39	\$ 7,562.10
606-A1	4" PVC PIPE	LF	294	\$ 16.24	\$ 4,774.56
610-D	6 OZ. FILTER BLANKET, NON-WOVEN	SY	1,790	\$ 2.71	\$ 4,850.90
610-D1	SEPARATION FABRIC (TERRATEX GS)	SY	2,466	\$ 2.44	\$ 6,017.04
610-D2	FILTER CLOTH- UNDERDRAIN	SY	109	\$ 6.01	\$ 655.09
618-A	CONCRETE PAVEMENT, 6"	SY	1,412	\$ 57.18	\$ 80,738.16
618-A1	CONCRETE WALK INCLUDING H/C RAMP	SY	469	\$ 63.90	\$ 29,969.10
618-A2	CONCRETE FLUME	LF	5	\$ 108.23	\$ 541.15
619-A	15" PIPE END TREATMENT	EA	1	\$ 541.13	\$ 541.13
619-B	PRECAST 6:1 SLOPE PAVED HEADWALL, 18"	EA	1	\$ 1,202.51	\$ 1,202.51
621-A	JUNCTION BOX (8'X6')	EA	1	\$ 5,411.30	\$ 5,411.30
621-G	TYPE "PD" GRATE INLET, MODIFIED BOX 8'X6'	EA	1	\$ 7,696.07	\$ 7,696.07
621-C1	GRATE INLET	EA	3	\$ 2,440.29	\$ 7,320.87
621-H	NYLOPLAST RISER INLET	EA	5	\$ 1,177.09	\$ 5,885.45
623-B	TYPE "F" CURB CONCRETE	LF	36	\$ 18.63	\$ 670.68
623-B1	TYPE "N" CURB CONCRETE	LF	195	\$ 18.04	\$ 3,517.80
623-B2	CONCRETE CURB RIBBON	LF	237	\$ 18.04	\$ 4,275.48
650-B	TOPSOIL, 3" THICK (From Stockpiles)	CY	282	\$ 36.81	\$ 10,380.42

**Bid Tabulation for City of Orange Beach - Arts Center Site Improvements**  
**Date: July 27, 2017**

CONSTRUCTION ITEMS				McElhenney Construction Co.	
ITEM #	DESCRIPTION	UNIT	QTY	UNIT PRICE	AMOUNT
652-A	SEEDING, SEASONAL	ACRE	1	\$ 2,164.52	\$ 2,597.42
654-A	SOLID SODDING	SY	1,151	\$ 6.20	\$ 7,136.20
654-A1	BERMUDA SOD	SY	1,600	\$ 6.20	\$ 9,920.00
656-A	MULCHING	ACRE	1	\$ 1,503.08	\$ 1,803.70
665-J	SLIT FENCE, TYPE A	LF	700	\$ 5.36	\$ 3,752.00
665-Q	WATTLES	LF	100	\$ 9.08	\$ 908.00
701-A	SOLID WHITE, CLASS 1, TYPE A TRAFFIC STRIPE	LF	315	\$ 6.61	\$ 2,082.15
701-G	SOLID WHITE TRAFFIC STRIPE, CLASS 2, TYPE A	MILE	1	\$ 5,489.46	\$ 2,744.73
703-A	TRAFFIC CONTROL MARKINGS AND TRAFFIC ARROWS	SY	50	\$ 39.68	\$ 1,984.00
703-A1	TRAFFIC CONTROL LEGENDS, CL2, TYPE A, (WHITE)	SY	550	\$ 9.26	\$ 5,093.00
805-A	BRICK PAVERS	SY	25	\$ 60.13	\$ 1,503.25
805-A1	GRASS PAVERS	SY	1,600	\$ 44.49	\$ 71,184.00
999-A	GRASSED DITCH SWALE	LF	345	\$ 25.01	\$ 8,628.45
000-A	TRAFFIC CONTROL SCHEME	LS	1	\$ 9,485.00	\$ 9,485.00
<b>TOTAL BID AMOUNT</b>					<b>\$644,809.71</b>

I certify that this Bid Tabulation is true and accurate based on unit prices provided by each individual bidder.  
 All corrections are evident and as shown in the tabulation.

  
 Project Manager

7/28/17  
 Date





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

ADDITION: Approval of a Special Events Retail Liquor License Application by Event Concessions, Inc., for "The Wharf Uncorked Wine and Culinary Event," Orange Beach Event Center, 4671 Wharf Parkway.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ ABC Application



**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**

**ALCOHOL LICENSE APPLICATION**

**Confirmation Number: 20170807102439080**



**Type License:** 140 - SPECIAL EVENTS RETAIL

**State:** \$150.00 **County:** \$212.00

**Type License:**

**State:** **County:**

**Trade Name:** THE WHARF UNCORKED WINE AND CULINARY EVENT **Filing Fee:** \$50.00

**Applicant:** EVENT CONCESSIONS INC

**Transfer Fee:**

**Location Address:** THE INTERSECTION OF MAIN STREET AND WHARF PARKWAY ORANGE BEACH, AL 36561

**Mailing Address:** 101 ROYAL PLACE PELHAM , AL 35124

**County:** BALDWIN **Tobacco sales:** NO

**Tobacco Vending Machines:**

**Type Ownership:** CORPORATION

**Book, Page, or Document info:** BOOK 9704 PAGE 2138

**Date Incorporated:** 04/01/1997 **State incorporated:** AL

**County Incorporated:** JEFFERSON

**Date of Authority:** 04/01/1997

**Alabama State Sales Tax ID:** 580010705

**Federal Tax ID:** 72-1362640

<b>Name:</b>	<b>Title:</b>	<b>Date and Place of Birth:</b>	<b>Residence Address:</b>
PATRICK JOSEPH O BRIEN II 5641161 - AL	PRESIDENT	01/15/1962 NEW ULM, MN	101 ROYAL PLACE PELHAM, AL 35124

Has applicant complied with financial responsibility ABC RR 20-X-5-.14? YES

Does ABC have any actions pending against the current licensee? NO

Has anyone, including manager or applicant, had a Federal/State permit or license suspended or revoked? NO

Has a liquor, wine, malt or brewed license for these premises ever been denied, suspended, or revoked? NO

Are the applicant(s) named above, the only person(s), in any manner interested in the business sought to be licensed? YES

Are any of the applicants, whether individual, member of a partnership or association, or officers and directors of a corporation itself, in any manner monetarily interested, either directly or indirectly, in the profits of any other class of business regulated under authority of this act? NO

Does applicant own or control, directly or indirectly, hold lien against any real or personal property which is rented, leased or used in the conduct of business by the holder of any vinous, malt or brewed beverage, or distilled liquors permit or license issued under authority of this act? NO

Is applicant receiving, either directly or indirectly, any loan, credit, money, or the equivalent thereof from or through a subsidiary or affiliate or other licensee, or from any firm, association or corporation operating under or regulated by the authority of this act? NO

**Contact Person:** MOLLIE DUCOTE

**Business Phone:** 251-583-8416

**Fax:**

**Home Phone:** 251-621-0718

**Cell Phone:** 251-663-4561

**E-mail:** MOLLIEDUCOTE@YAHOO.COM

**PREVIOUS LICENSE INFORMATION:**

**Trade Name:**

**Applicant:**

**Previous License Number(s)**

**License 1:**

**License 2:**



**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**

**Confirmation Number: 20170807102439080**



If applicant is leasing the property, is a copy of the lease agreement attached? **YES**

Name of Property owner/lessor and phone number: **WHARF RETAIL PROPERTIES LLC 251-215-8265**

What is lessors primary business? **DEVELOPER / CONTRACTOR**

Is lessor involved in any way with the alcoholic beverage business? **NO**

Is there any further interest, or connection with, the licensee's business by the lessor? **NO**

Does the premise have a fully equipped kitchen? **NO**

Is the business used to habitually and principally provide food to the public? **NO**

Does the establishment have restroom facilities? **YES**

Is the premise equipped with services and facilities for on premises consumption of alcoholic beverages? **YES**

Will the business be operated primarily as a package store? **NO**

Building Dimensions Square Footage: **99999** Display Square Footage:

Building seating capacity: **16** Does Licensed premises include a patio area? **NO**

License Structure: **ONE STORY** License covers: **OTHER**

Location is within: **CITY LIMITS** Police protection: **CITY**

Has any person(s) with any interest, including manager, whether as sole applicant, officer, member, or partner been charged (whether convicted or not) of any law violation(s)?

**Name: Violation & Date: Arresting Agency: Disposition:**






**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**

**Confirmation Number: 20170807102439080**



**Initial each**

[Signature]

In reference to law violations, I attest to the truthfulness of the responses given within the application.

[Signature]

In reference to the Lease/property ownership, I attest to the truthfulness of the responses given within the application.

[Signature]

In reference to ACT No. 80-529, I understand that if my application is denied or discontinued, I will not be refunded the filing fee required by this application.

[Signature]

In reference to Special Retail or Special Events retail license, I agree to comply with all applicable laws and regulations concerning this class of license, and to observe the special terms and conditions as indicated within the application.

[Signature]

In reference to the Club Application information, I attest to the truthfulness of the responses given within the application.

[Signature]

In reference to the transfer of license/location, I attest to the truthfulness of the information listed on the attached transfer agreement.

[Signature]

In accordance with Alabama Rules & Regulations 20-X-5-.01(4), any social security number disclosed under this regulation shall be used for the purpose of investigation or verification by the ABC Board and shall not be a matter of public record.

[Signature]

The undersigned agree, if a license is issued as herein applied for, to comply at all times with and to fully observe all the provisions of the Alabama Alcoholic Beverage Control Act, as appears in Code of Alabama, Title 28, and all laws of the State of Alabama relative to the handling of alcoholic beverages.

The undersigned, if issued a license as herein requested, further agrees to obey all rules and regulations promulgated by the board relative to all alcoholic beverages received in this State. The undersigned, if issued a license as herein requested, also agrees to allow and hereby invites duly authorized agents of the Alabama Alcoholic Beverage Control Board and any duly commissioned law enforcement officer of the State, County or Municipality in which the license premises are located to enter and search without a warrant the licensed premises or any building owned or occupied by him or her in connection with said licensed premises. The undersigned hereby understands that he or she violate any provisions of the aforementioned laws his or her license shall be subject to revocation and no license can be again issued to said licensee for a period of one year. The undersigned further understands and agrees that no changes in the manner of operation and no deletion or discontinuance of any services or facilities as described in this application will be allowed without written approval of the proper governing body and the Alabama Alcoholic Beverage Control Board.

[Signature]

I hereby swear and affirm that I have read the application and all statements therein and facts set forth are true and correct, and that the applicant is the only person interested in the business for which the license is required.

Applicant Name (print):

Mollie Do Cote PDA

Signature of Applicant:

Mollie Do Cote

Notary Name (print):

Betty G. Dean

Notary Signature:

Betty G. Dean

Commission expires:

1/13/2019

Application Taken:

App. Inv. Completed:

Forwarded to District Office:

Submitted to Local Government:

Received from Local Government:

Received in District Office:

Reviewed by Supervisor:

Forwarded to Central Office:



**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**

**Confirmation Number: 20170807102439080**



**Private Clubs / Special Retail / or Special Events licenses ONLY**

**Private Club**

Does the club charge and collect dues from elected members?

Number of paid up members:

Are meetings regularly held?

How often?

Is business conducted through officers regularly elected?

Are members admitted by written application, investigation, and ballot?

Has Agent verified membership applications for each member listed?

Has at least 10% of members listed been confirmed and highlighted?

Agent's Initials:

For what purpose is the club organized?

Does the property used, as well as the advantages, belong to all the members?

Do the operations of the club benefit any individual member(s), officer(s), director(s), agent(s), or employee(s) of the club rather than to benefit of the entire membership?

**Special Retail**

Is it for 30 days or less?

More than 30 days?

Franchisee or Concessionaire of above?

Other valid responsible organization:

Explanation:

**Special Events / Special Retail (7 days or less)**

Starting Date: 09/16/2017 Ending Date: 09/16/2017

Special terms and conditions for special event/special retail:

EVENT DATE 09/16/2017. LICENSED AREA WILL BE BARRICADED TO CONTROL ENTRANCE/EXIT. WINE AND LIQUOR TO BE SOLD IN 3 OUNCE PLASTIC CUPS, AND UN-OPENED 750ML AND 1.5L BOTTLES. NO ALCOHOLIC BEVERAGES ARE ALLOWED TO LEAVE THE LICENSED PREMISE. THIS LICENSE IS NON-RENEWABLE.

**Other Explanations**

License Covers: STREET

Receipt Confirmation Page

Receipt Confirmation Number: **20170807102439080**  
Application Payment Confirmation Number: 30875820

Payment Summary	
Payment Item	Fee
Application Fee for License 140	\$50.00
Total Amount to be Charged	\$50.00

License Payment Confirmation Number:

Payment Summary			
Payment Item	County Fee	State Fee	Total Fee
140 - SPECIAL EVENTS RETAIL	\$212.00	\$150.00	\$362.00
			\$0.00
Total Amount to be Charged	\$212.00	\$150.00	\$362.00

Application Type

Application Type: APPLICATION

Applicant Information

License Type 1: 140 - SPECIAL EVENTS RETAIL  
License Type 2:  
License County: BALDWIN  
Business Type: CORPORATION  
Trade Name: **THE WHARF UNCORKED WINE AND CULINARY EVENT**  
Applicant Name: **EVENT CONCESSIONS INC**  
Location Address: THE INTERSECTION OF MAIN STREET AND WHARF PARKWAY  
ORANGE BEACH, AL 36561  
  
Mailing Address: 101 ROYAL PLACE  
PELHAM , AL 35124  
  
Contact Person: MOLLIE DUCOTE  
Contact Home Phone: 251-621-0718  
Contact Business Phone: 251-583-8416  
Contact Fax:  
Contact Cell Phone: 251-663-4561  
Contact Email Address:  
Contact Web Address:





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

ADDITION: Approval of a Special Events Retail Liquor License Application by Event Concessions, Inc., for "The Wharf Uncorked Wine and Culinary Event Kickoff" at the Wharf, 4720 Main Street, Space M101 and M105.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ ABC Application



**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**



**Confirmation Number: 20170807104509400**

**Type License:** 140 - SPECIAL EVENTS RETAIL

**State:** \$150.00 **County:** \$212.00

**Type License:**

**State:** **County:**

**Trade Name:** THE WHARF UNCORKED WINE AND CULINARY EVENT KICKOFF **Filing Fee:** \$50.00

**Applicant:** EVENT CONCESSIONS INC

**Transfer Fee:**

**Location Address:** 4720 MAIN STREET; SPACE M101 AND M105 ORANGE BEACH, AL 36561

**Mailing Address:** 101 ROYAL PLACE PELHAM, AL 35124

**County:** BALDWIN **Tobacco sales:** NO

**Tobacco Vending Machines:**

**Type Ownership:** CORPORATION

**Book, Page, or Document info:** BOOK 9704 PAGE 2138

**Date Incorporated:** 04/01/1997 **State incorporated:** AL

**County Incorporated:** JEFFERSON

**Date of Authority:** 04/01/1997

**Alabama State Sales Tax ID:** 580010705

**Federal Tax ID:** 72-1362640

<b>Name:</b>	<b>Title:</b>	<b>Date and Place of Birth:</b>	<b>Residence Address:</b>
PATRICK JOSEPH O BRIEN II 5641161 - AL	PRESIDENT	01/15/1962 NEW ULM, MN	101 ROYAL PLACE PELHAM, AL 35124

Has applicant complied with financial responsibility ABC RR 20-X-5-.14? YES

Does ABC have any actions pending against the current licensee? NO

Has anyone, including manager or applicant, had a Federal/State permit or license suspended or revoked? NO

Has a liquor, wine, malt or brewed license for these premises ever been denied, suspended, or revoked? NO

Are the applicant(s) named above, the only person(s), in any manner interested in the business sought to be licensed? YES

Are any of the applicants, whether individual, member of a partnership or association, or officers and directors of a corporation itself, in any manner monetarily interested, either directly or indirectly, in the profits of any other class of business regulated under authority of this act? NO

Does applicant own or control, directly or indirectly, hold lien against any real or personal property which is rented, leased or used in the conduct of business by the holder of any vinous, malt or brewed beverage, or distilled liquors permit or license issued under authority of this act? NO

Is applicant receiving, either directly or indirectly, any loan, credit, money, or the equivalent thereof from or through a subsidiary or affiliate or other licensee, or from any firm, association or corporation operating under or regulated by the authority of this act? NO

**Contact Person:** MOLLIE DUCOTE

**Business Phone:** 251-583-8416

**Fax:**

**Home Phone:** 251-621-0718

**Cell Phone:** 251-663-4561

**E-mail:** MOLLIEDUCOTE@YAHOO.COM

**PREVIOUS LICENSE INFORMATION:**

**Trade Name:**

**Applicant:**

**Previous License Number(s)**

**License 1:**

**License 2:**



**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**



**Confirmation Number: 20170807104509400**

If applicant is leasing the property, is a copy of the lease agreement attached? **YES**  
Name of Property owner/lessor and phone number: **WHARF RETAIL PROPERTIES LLC 251-215-8265**  
What is lessors primary business? **DEVELOPER / CONTRACTOR**  
Is lessor involved in any way with the alcoholic beverage business? **NO**  
Is there any further interest, or connection with, the licensee's business by the lessor? **NO**

Does the premise have a fully equipped kitchen? **NO**  
Is the business used to habitually and principally provide food to the public? **NO**  
Does the establishment have restroom facilities? **YES**  
Is the premise equipped with services and facilities for on premises consumption of alcoholic beverages? **YES**

Will the business be operated primarily as a package store? **NO**  
Building Dimensions Square Footage: **16000** Display Square Footage:  
Building seating capacity: **988** Does Licensed premises include a patio area? **NO**  
License Structure: **ONE STORY** License covers: **OTHER**  
Location is within: **CITY LIMITS** Police protection: **CITY**

Has any person(s) with any interest, including manager, whether as sole applicant, officer, member, or partner been charged (whether convicted or not) of any law violation(s)?

Name:	Violation & Date:	Arresting Agency:	Disposition:





**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**

**Confirmation Number: 20170807104509400**



**Initial each**

**Signature page**

☒

In reference to law violations, I attest to the truthfulness of the responses given within the application.

☒

In reference to the Lease/property ownership, I attest to the truthfulness of the responses given within the application.

☒

In reference to ACT No. 80-529, I understand that if my application is denied or discontinued, I will not be refunded the filing fee required by this application.

☒

In reference to Special Retail or Special Events retail license, I agree to comply with all applicable laws and regulations concerning this class of license, and to observe the special terms and conditions as indicated within the application.

☒

In reference to the Club Application information, I attest to the truthfulness of the responses given within the application.

☒

In reference to the transfer of license/location, I attest to the truthfulness of the information listed on the attached transfer agreement.

☒

In accordance with Alabama Rules & Regulations 20-X-5-.01(4), any social security number disclosed under this regulation shall be used for the purpose of investigation or verification by the ABC Board and shall not be a matter of public record.

☒

The undersigned agree, if a license is issued as herein applied for, to comply at all times with and to fully observe all the provisions of the Alabama Alcoholic Beverage Control Act, as appears in Code of Alabama, Title 28, and all laws of the State of Alabama relative to the handling of alcoholic beverages.

The undersigned, if issued a license as herein requested, further agrees to obey all rules and regulations promulgated by the board relative to all alcoholic beverages received in this State. The undersigned, if issued a license as herein requested, also agrees to allow and hereby invites duly authorized agents of the Alabama Alcoholic Beverage Control Board and any duly commissioned law enforcement officer of the State, County or Municipality in which the license premises are located to enter and search without a warrant the licensed premises or any building owned or occupied by him or her in connection with said licensed premises. The undersigned hereby understands that he or she violate any provisions of the aforementioned laws his or her license shall be subject to revocation and no license can be again issued to said licensee for a period of one year. The undersigned further understands and agrees that no changes in the manner of operation and no deletion or discontinuance of any services or facilities as described in this application will be allowed without written approval of the proper governing body and the Alabama Alcoholic Beverage Control Board.

☒

I hereby swear and affirm that I have read the application and all statements therein and facts set forth are true and correct, and that the applicant is the only person interested in the business for which the license is required.

Applicant Name (print):

Mollie Du Gato POA

Signature of Applicant:

Mollie Du Gato

Notary Name (print):

Betty G. Dean

Notary Signature:

Betty G. Dean

Commission expires:

11/13/2019

Application Taken:

App. Inv. Completed:

Forwarded to District Office:

Submitted to Local Government:

Received from Local Government:

Received in District Office:

Reviewed by Supervisor:

Forwarded to Central Office:



**STATE OF ALABAMA**  
**ALCOHOLIC BEVERAGE CONTROL BOARD**  
**ALCOHOL LICENSE APPLICATION**

**Confirmation Number: 20170807104509400**



**Private Clubs / Special Retail / or Special Events licenses ONLY**

**Private Club**

Does the club charge and collect dues from elected members?

Number of paid up members:

Are meetings regularly held?

How often?

Is business conducted through officers regularly elected?

Are members admitted by written application, investigation, and ballot?

Has Agent verified membership applications for each member listed?

Has at least 10% of members listed been confirmed and highlighted?

Agent's Initials:

For what purpose is the club organized?

Does the property used, as well as the advantages, belong to all the members?

Do the operations of the club benefit any individual member(s), officer(s), director(s), agent(s), or employee(s) of the club rather than to benefit of the entire membership?

**Special Retail**

Is it for 30 days or less?

More than 30 days?

Franchisee or Concessionaire of above?

Other valid responsible organization:

Explanation:

**Special Events / Special Retail (7 days or less)**

Starting Date: 09/14/2017 Ending Date: 09/14/2017

Special terms and conditions for special event/special retail:

EVENT DATE 09/14/2017. LICENSED AREA WILL BE BARRICADED TO CONTROL ENTRANCE/EXIT. BEER TO BE SOLD IN 12 OZ CANS, WINE IN 7 OZ CUPS AND LIQUOR IN 10 OZ CUPS. NO ALCOHOLIC BEVERAGES ARE ALLOWED TO LEAVE THE LICENSED PREMISE. THIS LICENSE IS NON-RENEWABLE.

**Other Explanations**

License Covers: SPACE M101 AND M105

Receipt Confirmation Page

Receipt Confirmation Number: **20170807104509400**  
Application Payment Confirmation Number: 30875952

Payment Summary	
Payment Item	Fee
Application Fee for License 140	\$50.00
Total Amount to be Charged	\$50.00

License Payment Confirmation Number:

Payment Summary			
Payment Item	County Fee	State Fee	Total Fee
140 - SPECIAL EVENTS RETAIL	\$212.00	\$150.00	\$362.00
			\$0.00
Total Amount to be Charged	\$212.00	\$150.00	\$362.00

Application Type

Application Type: APPLICATION

Applicant Information

License Type 1: 140 - SPECIAL EVENTS RETAIL

License Type 2:

License County: BALDWIN

Business Type: CORPORATION

Trade Name: **THE WHARF UNCORKED WINE AND CULINARY EVENT KICKOFF**

Applicant Name: **EVENT CONCESSIONS INC**

Location Address: 4720 MAIN STREET; SPACE M101 AND M105  
ORANGE BEACH, AL 36561

Mailing Address: 101 ROYAL PLACE  
PELHAM , AL 35124

Contact Person: MOLLIE DUCOTE

Contact Home Phone: 251-621-0718

Contact Business Phone: 251-583-8416

Contact Fax:

Contact Cell Phone: 251-663-4561

Contact Email Address:

Contact Web Address:





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

Resolution declaring air rifle equipment and gear owned by the City of Orange Beach as surplus and unneeded and authorizing the donation of said property to American Legion Post 44, Gulf Shores.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

▣ Resolution

**RESOLUTION NO. 17-xxx**

**A RESOLUTION DECLARING AIR RIFLE EQUIPMENT AND GEAR  
OWNED BY THE CITY OF ORANGE BEACH AS SURPLUS AND UNNEEDED  
AND AUTHORIZING THE DONATION OF SAID PROPERTY TO  
AMERICAN LEGION POST 44, GULF SHORES**

FINDINGS:

1. That the following personal property owned by the City of Orange Beach, Alabama, is no longer needed for public or municipal purposes:

DEPARTMENT	ITEM DESCRIPTION	QTY
PARKS & REC	AVANTI MODEL 888 COMPETITION AIR RIFLES	8
	AVANTI MODEL 499 COMPETITION BB GUNS	5
	CO <sup>2</sup> FILL STATION	1
	ASSORTED SPARE PARTS AND ACCESSORIES	LOT

2. Section 11-43-56 of the Code of Alabama of 1975 authorizes the municipal governing body to dispose of unneeded personal property.
3. The City of Orange Beach has received a request from American Legion Post 44 located in Gulf Shores for assistance in developing a Junior Air Rifle Shooting Program.
4. Orange Beach City Council has determined that donating the above listed air rifle equipment and gear serves a public purpose.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the aforementioned personal property owned by the City of Orange Beach, Alabama, is not needed for public or municipal purposes;
2. That the Mayor and City Clerk are hereby authorized to execute the documents necessary to donate and convey the above listed air rifle equipment and gear to the American Legion Post 44 located in Gulf Shores on behalf of the City of Orange Beach, Alabama; and
3. That this Resolution shall become effective upon its adoption.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

C E R T I F I C A T E

I, Renee Eberly, City Clerk of the City of Orange Beach, Alabama, do hereby certify that the foregoing is a true and correct copy of Resolution No. 17-xxx, which was duly and legally adopted at a regular meeting of the City Council on August 15, 2017.

\_\_\_\_\_  
City Clerk



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

ADDITION: Resolution authorizing execution of a social media service agreement with Socialize Your Bizness, Inc.

**Action Options/Recommendation:**

Agreement to expire on 12/31/2017

**Source of Funding (if applicable) :**

\$50 One-Time Start-Up Fee, \$750/Month

---

**ATTACHMENTS:**

Description

- ▣ Resolution
- ▣ Agreement



**RESOLUTION NO. 17-xxx**

**A RESOLUTION AUTHORIZING THE EXECUTION OF A  
SOCIAL MEDIA SERVICE AGREEMENT WITH  
SOCIALIZE YOUR BIZNESS, INC.**

---

**FINDINGS:**

1. The City of Orange Beach is interested in testing social media consulting and marketing services.
2. After having reviewed the agreement (attached Exhibit A), the City Council has determined that the provisions are in the best interest of the City of Orange Beach, Alabama.
3. The term of this agreement shall be through December 31, 2017.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the Mayor is hereby authorized to execute the agreement in substantially the form and of substantially the content now before the Council between the City of Orange Beach and Socialize Your Bizness, Inc., as an act for and on behalf of the City of Orange Beach subject to final approval by the City Attorney; and
2. That this Resolution shall become effective immediately upon its adoption.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

---

Renee Eberly  
City Clerk

**C E R T I F I C A T E**

I, Renee Eberly, City Clerk of the City of Orange Beach, Alabama, do hereby certify that the foregoing is a true and correct copy of Resolution No. 17-xxx, which was duly and legally adopted at a regular meeting of the City Council on August 15, 2017.

---

City Clerk

## Proposal for The City of Orange Beach

**Socialize Your Bizness** is pleased to provide ***The City of Orange Beach*** with the following social media, public relations, and marketing proposal.

Our marketing message will be designed to improve communication with the community and engagement with The City of Orange Beach. Social media marketing builds and strengthens community, conversation, and relationships with the people.

**Socialize Your Bizness** promises to provide social media consulting and execution services through analysis of post engagement, reputation management, and public appearances representing the City of Orange Beach in the best of light.

**Socialize Your Bizness** will bring all aspects of social media and traditional marketing efforts into alignment with the intention of meeting the mayor's goals and purpose.

**Client involvement** will be necessary for any interesting events you want to promote by emailing promotional material as soon as possible. This includes sale flyers, commercials, videos or photos. We will be on location if for two events per month.

### **Social Media Strategy and Execution**

Currently, ***The City of Orange Beach*** is missing opportunities to engage clients, industry prospects, and fans.

The following components will be included in our strategy:

- General Social Media Strategy and Social Integrated Marketing consulting.
- Social media page updates or creation, management and daily responsibility.
- Facebook and Twitter pages.
- Development and execution of a social content strategy. Any special events or product announcements will be incorporated per your request.
- Management of posting - We will be posting 1-2 times per day.
- Cross promotions with industry related community projects, businesses, centers, activities, events, etc., upon you request.
- Responding and engaging with fans and followers to build relationships.

- Reputation management, which includes approved responses to unfavorable community reviews.
- Content writing as needed in the way of press releases, community flyers, notices and announcements.
- 2 live videos per month.
- Attendance at select City events, as needed.

### **Budget Proposed budget for The City of Orange Beach**

Three Social Media Outlets (2 Facebook Pages, Twitter)

Reputation management

Content writing

Attendance at events

Live videos (2 per month)

**Total:** \$750 per month

**One Time Start Up Fee for social media:** \$50

### **Agreement to Expire on 12/31/2017**

#### **TERMS**

Payments will be made via credit card or bank draft and billed monthly, starting on the date of this agreement and continuing every month on the monthly anniversary date. Contractual agreement will be renewed automatically month-to-month unless a 30-day written notice is submitted.

If payment has not been made, there will be a \$25 late fee per week until payment has been satisfied in full. Failure to complete payment will result in recoverability of attorney's fees and cost of collection. The terms of the social media contract will be carried out; however, if the account involves a website lease, the website will be blacked out until payment has been satisfied.

Socialize Your Bizness makes no claim that our service is guaranteed for your success. There is a limitation of liability against claims of damages limited to the amount of the service agreement. Though we monitor your social media accounts closely, we are not responsible or liable for what third-parties may post, comment, or say on your social media or website. Reputation management is a service we offer but do not include in every package.



We are not responsible for any loss or claims caused by the client or third-parties on your website or social media site, including slander, trademark disparagement, or any other type of claim. The content created for The City of Orange Beach will be available through shared access on Dropbox and will belong to The City of Orange Beach. Socialize Your Bizness claims there are no oral representations being made or accepted and any changes must be made in writing signed by both parties.

\*All pricing is subject to change and updated upon renewals.

The undersigned parties have executed this Agreement thereby making it effective:

The City of Orange Beach	Socialize YourBizness
<b>Signed:</b> _____	<b>Signed:</b> _____
<b>Title:</b> _____	<b>Title:</b> _____
<b>Date:</b> _____	<b>Date:</b> _____

**Billing Details:**

Card Type: \_\_\_\_\_

Card #: \_\_\_\_\_

Name on Card: \_\_\_\_\_

Exp Date: \_\_\_\_\_

Security

Code: \_\_\_\_\_

Card Billing Address: \_\_\_\_\_

Billing

City: \_\_\_\_\_

Billing State/Zip: \_\_\_\_\_

OR

**Bank Draft:**

Bank Routing Number: \_\_\_\_\_

Bank Account Number: \_\_\_\_\_



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Engineering and Environmental

**Description of Topic:**

ADDITION: Resolution authorizing the Mayor to execute a professional services agreement with Alabama Land Title Company, Inc., to perform title services.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

E&ES professional services operating budget line item

---

**ATTACHMENTS:**

Description

- ▣ Resolution
- ▣ Agreement

**RESOLUTION NO. 17-xxx**

**A RESOLUTION AUTHORIZING THE EXECUTION OF A  
PROFESSIONAL SERVICES AGREEMENT WITH  
ALABAMA LAND TITLE COMPANY, INC.  
FOR TITLE AND CLOSING SERVICES**

---

**FINDINGS:**

1. The City of Orange Beach and Alabama Land Title Company, Inc., have reached an agreement (attached Exhibit A) whereby Alabama Land Title Company, Inc., will provide title and closing services for the City of Orange Beach.
2. After having reviewed the agreement, the City Council has determined that the provisions are in the best interest of the City of Orange Beach, Alabama.
3. The term of this agreement shall be for twelve (12) months from the date of adoption by the Orange Beach City Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the Mayor is hereby authorized to execute the agreement in substantially the form and of substantially the content now before the Council between the City of Orange Beach and Alabama Land Title Company, Inc., as an act for and on behalf of the City of Orange Beach subject to final approval by the City Attorney; and
2. That this Resolution shall become effective immediately upon its adoption.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

---

Renee Eberly  
City Clerk

**C E R T I F I C A T E**

I, Renee Eberly, City Clerk of the City of Orange Beach, Alabama, do hereby certify that the foregoing is a true and correct copy of Resolution No. 17-xxx, which was duly and legally adopted at a regular meeting of the City Council on August 15, 2017.

---

City Clerk



## **PERFORMANCE CONTRACT**

THIS PERFORMANCE CONTRACT (sometimes hereinafter "Agreement") is made and entered into by and between the City of Orange Beach, an Alabama Municipal Corporation (sometimes hereinafter "City"), and Alabama Land Title Company, Inc. (sometimes hereinafter "Contractor"), as follows:

WHEREAS, Contractor is engaged in the business of providing title research services;

WHEREAS, City desires to engage Contractor to provide said services upon the following terms and conditions;

**NOW, THEREFORE,**

### **WITNESSETH:**

City and Contractor, for and in consideration of the mutual covenants and agreements hereinafter set forth to be kept and performed by the other, and other good and valuable consideration, the receipt and sufficiency of all of which are hereby acknowledged, do hereby covenant and agree as follows:

#### **I. SERVICES TO BE PERFORMED**

Contractor agrees to perform title research services, and to represent the City as requested as their Title Research Consultant on a variety of assigned projects. Each project will be assigned to Contractor in the form of a written Task Order describing the scope of work. A copy of this Agreement shall be attached to each Task Order.

Contractor agrees to perform services that may include, but not be limited to title research, consultation to the City as requested, and other services as requested.

#### **I. COMPENSATION**

Fees for work completed and reimbursable expenses will be invoiced to the City on a monthly basis, based on the following hourly rate schedule:

Title Search SERVICES

\$100.00 per hour

## **II. TERM OF AGREEMENT**

Unless terminated earlier in accordance with the termination provisions of this Agreement, the term of this Agreement shall commence upon its adoption by the Orange Beach City Council and shall continue thereafter for twelve months.

## **III. GENERAL PROVISIONS**

- A. Contractor agrees to permit at all reasonable times and places an audit of its books and records by City's duly authorized representatives.
- B. Notwithstanding any of the provisions of this Agreement, it is agreed that City has no financial interest in the business of Contractor and shall not be liable for any debts or obligations incurred by Contractor, nor shall City be deemed or construed to be a partner, joint venturer or otherwise interested in the assets of Contractor, or in the sums earned or derived by Contractor, nor shall Contractor at any time or times use the name or credit of City in purchasing or attempting to purchase any car, equipment, supplies or other thing or things whatsoever.
- C. Contractor shall act as a representative of the City, under the direct supervision of the City. Contractor shall have no authority to obligate the City in any way whatsoever. In the performance of his duties, the Contractor shall be deemed an independent contractor.
- D. Contractor acknowledges that its identity and peculiar capacity to provide the services described hereinabove constitute a material consideration for City's having entered into this Agreement. Therefore, Contractor shall not transfer or assign this Agreement or any of the rights or privileges granted herein without the prior written consent of City; which such consent shall be granted or denied solely at City's discretion.
- E. Contractor hereby agrees to comply strictly with all ordinances of the City of Orange Beach, Alabama, and the laws of the State of Alabama and of the United States while performing its obligations under the terms of this Agreement.
- F. Contractor agrees that upon the violation of any of the covenants and agreements herein contained, on account of any act or omission or commission of Contractor, City may, at its option, terminate and cancel this Agreement.

- G. Contractor agrees that it will comply with Title 6 of the Civil Rights Act of 1964 which provides that no person will be excluded from participation in, or be denied benefits of, or otherwise be subjected to discrimination on the grounds of race, sex, color, national origin or disability, in connection with federally funded programs.
- H. City may terminate this Agreement with or without cause at any time by giving written notice to Contractor of such termination (herein called a "Notice of Termination"), specifying the effective date thereof not less than thirty (30) calendar days before the effective date of the termination. Contractor shall have the right to terminate this Agreement by giving City written notice and remaining in service for a sufficient time to allow City to seek a suitable replacement. Should Contractor be terminated pursuant to the terms of this subpart, then this Agreement shall terminate on the last day of Contractor's current month of employment and City shall not be liable for any compensation beyond that date.
- I. Contractor agrees to indemnify and hold the City, its elected officials, officers, agents, and employees whole and harmless from all costs, liabilities and claims for damages of any kind arising in any way out of the performance of this Agreement and/or the activities of Contractor, its principals, directors, agents, servants and employees in the performance of this Agreement, for which the City is alleged to be liable. In the event the City, through no fault of its own, is made a party to any lawsuit or legal proceeding arising from Contractor's activities under this Agreement, Contractor agrees to indemnify and hold the City harmless from all costs, including attorneys' fees and expenses, associated with same. This indemnification extends only to third party claims and actions filed against the City as a result of any negligent actions by the Contractor under this Agreement. This duty shall survive the termination of this contract.
- J. All notices of cancellation, requests, demands or other communications shall be in writing and duly delivered to the following address for City at:

Cathy Constantino, City Clerk  
Post Office Box 458  
Orange Beach, Alabama 36561

Copy to: City Attorney

And to Contractor at:

Alabama Land Title Company, Inc.



112 N. Hoyle Avenue  
Bay Minette, AL 36507

- K. This Agreement is the final expression of the agreement between the parties, and the complete and exclusive statement of the terms agreed upon, and shall supersede all prior negotiations, understandings or agreements. There are no representations, warranties, or stipulations, either oral or written, not contained herein.
- L. Any alterations, variations, modifications, or waivers of the provisions of this Agreement shall only be valid when they have been reduced to writing and signed by authorized representatives of the party against whom enforcement is sought.
- M. The provisions of this Agreement shall be deemed severable. If any part of this Agreement is rendered void, invalid, or unenforceable, such rendering shall not affect the enforceability of the remainder of this Agreement unless the part or parts which are void, invalid or otherwise unenforceable shall substantially impair the value of the entire agreement with respect to any party.
- N. This Agreement shall be governed by the laws of the State of Alabama, and the appropriate venue for any actions arising out of this Agreement would be Baldwin County, Alabama.
- O. Contractor shall obtain, at its own expense, all necessary licenses, permits, insurance, authorization and assurances necessary in order to abide by the terms of this Agreement.

#### IV. INSURANCE.

For the term of this Agreement, the Contractor shall acquire and maintain in full force and effect the following liability and comprehensive insurance issued by a company licensed and qualified to do business in the State of Alabama, ***which such insurance shall name the City of Orange Beach as an additional insured***, and shall attach to this contract, as proof thereof, a certificate of insurance issued by an agent licensed and qualified to do business in the State of Alabama:

General Liability Insurance - public liability including premises, products, complete operations and automobile comprehensive and liability, including owned, non-owned, and hired vehicles.

Either:

- (1) Bodily injury liability:  
\$250,000 each person

\$500,000 each occurrence  
Property damage liability –  
\$100,000 each occurrence

**Or,**

- (2) Bodily injury and property  
damage combined -  
\$500,000 per occurrence

If the certificate of insurance referenced in this Agreement does not evidence insurance of owned vehicles, said certificate and this sentence shall evidence the Contractor's covenant that it does not own any vehicles and that it will not purchase or obtain any vehicles during the term of this Agreement.

Said certificate shall require that said insurance coverage will not be altered or terminated unless City shall be given written notice of such alteration or termination delivered to City not less than thirty (30) days before the effective date of such alteration or termination

IN WITNESS WHEREOF, we have hereunto set our hands and seals on this the day and year first written.

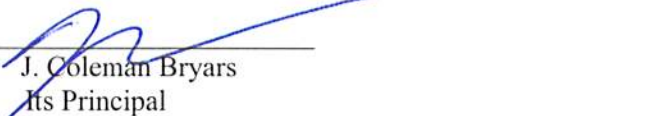
CITY OF ORANGE BEACH, A Municipal Corporation

By: \_\_\_\_\_  
Mayor Tony Kennon

ATTEST:

\_\_\_\_\_  
City Clerk

Contractor:  
Alabama Land Title Company, Inc.

By:   
J. Coleman Bryars  
Its Principal

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, the undersigned Notary Public in and for said County in said State, hereby certify that Tony Kennon, and Cathy Constantino, whose names as Mayor and City Clerk, respectively, of the City of Orange Beach, a Municipal Corporation, are signed to the foregoing Contract, and who are known to me, acknowledged before me on this day, that, being informed of the contents of the above and foregoing, they, as such officers and with full authority, executed the same voluntarily for and as the act of said municipal corporation on the day the same bears date.

Given under my hand and seal this the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

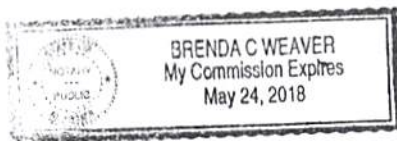
\_\_\_\_\_  
Notary Public  
State of Alabama At- Large  
My Commission Expires: \_\_\_\_\_

(SEAL)

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, the undersigned Notary Public, in and for said county in said state, hereby certify that J. Coleman Bixby whose name as Principal of Alabama Land Title Company, Inc., a corporation, is signed to the foregoing Contract, and who is known to me, acknowledged before me on this date that, being informed of the contents of the above and foregoing Contract, he as such officer and with full authority, executed the same voluntarily for and as the act of said corporation on the day the same bears date.

Given under my hand and seal this the 7<sup>th</sup> day of August, 2017.



Brenda C Weaver  
Notary Public  
State of Alabama At-Large  
My Commission Expires: 5-24-18





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Engineering and Environmental

**Description of Topic:**

ADDITION: Resolution authorizing the Mayor to execute a professional services agreement with Sawgrass Consulting LLC for civil engineering, land surveying and construction management services.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

E&ES, Public Works and Utilities Departments operating budgets.

---

**ATTACHMENTS:**

Description

- ▣ Resolution
- ▣ Agreement

**RESOLUTION NO. 17-xxx**

**A RESOLUTION AUTHORIZING THE EXECUTION OF A  
PROFESSIONAL SERVICES AGREEMENT WITH  
SAWGRASS CONSULTING, LLC  
FOR CIVIL ENGINEERING, LAND SURVEYING, AND  
CONSTRUCTION MANAGEMENT SERVICES**

---

**FINDINGS:**

1. The City of Orange Beach and Sawgrass Consulting, LLC, have reached an agreement (attached Exhibit A) whereby Sawgrass Consulting, LLC, will provide civil engineering, land surveying, and construction management services for the City of Orange Beach.
2. After having reviewed the agreement, the City Council has determined that the provisions are in the best interest of the City of Orange Beach, Alabama.
3. The term of this agreement shall be for twelve (12) months from the date of adoption by the Orange Beach City Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the Mayor is hereby authorized to execute the agreement in substantially the form and of substantially the content now before the Council between the City of Orange Beach and Sawgrass Consulting, LLC, as an act for and on behalf of the City of Orange Beach subject to final approval by the City Attorney; and
2. That this Resolution shall become effective immediately upon its adoption.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

---

Renee Eberly  
City Clerk

**C E R T I F I C A T E**

I, Renee Eberly, City Clerk of the City of Orange Beach, Alabama, do hereby certify that the foregoing is a true and correct copy of Resolution No. 17-xxx, which was duly and legally adopted at a regular meeting of the City Council on August 15, 2017.

---

City Clerk



## **PERFORMANCE CONTRACT**

THIS PERFORMANCE CONTRACT (sometimes hereinafter “Agreement”) is made and entered into by and between the City of Orange Beach, an Alabama Municipal Corporation (sometimes hereinafter “City”), and Sawgrass Consulting, LLC (sometimes hereinafter “Contractor”), as follows:

WHEREAS, Contractor is engaged in the business of providing Civil Engineering, Land Surveying and Construction Management services;

WHEREAS, City desires to engage Contractor to provide said services upon the following terms and conditions;

**NOW, THEREFORE,**

### **WITNESSETH:**

City and Contractor, for and in consideration of the mutual covenants and agreements hereinafter set forth to be kept and performed by the other, and other good and valuable consideration, the receipt and sufficiency of all of which are hereby acknowledged, do hereby covenant and agree as follows:

#### **I. SERVICES TO BE PERFORMED**

Contract agrees to perform Civil Engineering, Land Surveying and Construction Management services, and to represent the City as requested as their Civil Engineering, Land Surveying and Construction Management Consultant on a variety of assigned projects. Each project will be assigned to Contractor in the form of a written Task Order describing the scope of work. A copy of this Agreement shall be attached to each Task Order.

Contractor agrees to perform consulting services to the City as requested, and other services as requested that may include, but not be limited to:

Land Surveying – Boundary, Topographic, As-Built, Hydrographic, ALTA/ACSM Land Title, Route and/or Construction Layout/Staking



Civil Engineering – Civil Site Plans, Grading/Drainage Plans, Utility Design/Plans, Roadway Design/Plans, CE&I and Cost Estimating

Construction Management

Project Management

## **II. COMPENSATION**

Fees for work completed and reimbursable expenses will be invoiced to the City on a monthly basis, based on the following hourly rate schedule:



## **HOURLY RATE SHEET**

---

PROJECT MANAGER	\$160.00 hour
PROFESSIONAL LAND SURVEYOR	\$160.00 hour
PROFESSIONAL ENGINEER	\$160.00 hour
ENGINEER I	\$ 90.00 hour
SURVEY MANAGER	\$100.00 hour
ONE (1) MAN SURVEY CREW	\$110.00 hour
TWO (2) MAN SURVEY CREW	\$130.00 hour
THREE (3) MAN SURVEY CREW	\$160.00 hour
CADD DESIGNER	\$ 90.00 hour
CADD TECHNICIAN	\$ 85.00 hour
CONSTRUCTION REPRESENTATIVE	\$ 85.00 hour
CLERICAL	\$ 60.00 hour

---

### **III. TERM OF AGREEMENT**

Unless terminated earlier in accordance with the termination provisions of this Agreement, the term of this Agreement shall commence upon its adoption by the Orange Beach City Council and shall continue thereafter for twelve months.

### **IV. GENERAL PROVISIONS**

- A. Contractor agrees to permit at all reasonable times and places an audit of its books and records by City's duly authorized representatives.
- B. Notwithstanding any of the provisions of this Agreement, it is agreed that City has no financial interest in the business of Contractor and shall not be liable for any debts or obligations incurred by Contractor, nor shall City be deemed or construed to be a partner, joint venturer or otherwise interested in the assets of Contractor, or in the sums earned or derived by Contractor, nor shall Contractor at any time or times use the name or credit of City in purchasing or attempting to purchase any car, equipment, supplies or other thing or things whatsoever.
- C. Contractor shall act as a representative of the City, under the direct supervision of the City. Contractor shall have no authority to obligate the City in any way whatsoever. In the performance of his duties, the Contractor shall be deemed an independent contractor.
- D. Contractor acknowledges that its identity and peculiar capacity to provide the services described hereinabove constitute a material consideration for City's having entered into this Agreement. Therefore, Contractor shall not transfer or assign this Agreement or any of the rights or privileges granted herein without the prior written consent of City; which such consent shall be granted or denied solely at City's discretion.
- E. Contractor hereby agrees to comply strictly with all ordinances of the City of Orange Beach, Alabama, and the laws of the State of Alabama and of the United States while performing its obligations under the terms of this Agreement.
- F. Contractor agrees that upon the violation of any of the covenants and agreements herein contained, on account of any act or omission or commission of Contractor, City may, at its option, terminate and cancel this Agreement.
- G. Contractor agrees that it will comply with Title 6 of the Civil Rights Act of 1964 which provides that no person will be excluded from participation in, or be denied benefits of, or otherwise be subjected to discrimination on the grounds of race,

sex, color, national origin or disability, in connection with federally funded programs.

- H. City may terminate this Agreement with or without cause at any time by giving written notice to Contractor of such termination (herein called a "Notice of Termination"), specifying the effective date thereof not less than thirty (30) calendar days before the effective date of the termination. Contractor shall have the right to terminate this Agreement by giving City written notice and remaining in service for a sufficient time to allow City to seek a suitable replacement. Should Contractor be terminated pursuant to the terms of this subpart, then this Agreement shall terminate on the last day of Contractor's current month of employment and City shall not be liable for any compensation beyond that date.
- I. Contractor agrees to indemnify and hold the City, its elected officials, officers, agents, and employees whole and harmless from all costs, liabilities and claims for damages of any kind arising in any way out of the performance of this Agreement and/or the activities of Contractor, its principals, directors, agents, servants and employees in the performance of this Agreement, for which the City is alleged to be liable. In the event the City, through no fault of its own, is made a party to any lawsuit or legal proceeding arising from Contractor's activities under this Agreement, Contractor agrees to indemnify and hold the City harmless from all costs, including attorneys' fees and expenses, associated with same. This indemnification extends only to third party claims and actions filed against the City as a result of any negligent actions by the Contractor under this Agreement. This duty shall survive the termination of this contract.
- J. All notices of cancellation, requests, demands or other communications shall be in writing and duly delivered to the following address for City at:
- Ken Grimes, City Administrator  
Post Office Box 458  
Orange Beach, Alabama 36561
- Copy to: City Attorney
- And to Contractor at:
- Sawgrass Consulting, LLC  
11143 Old Highway 31  
Spanish Fort, Alabama 36527
- K. This Agreement is the final expression of the agreement between the parties, and the complete and exclusive statement of the terms agreed upon, and shall supersede all prior negotiations, understandings or agreements. There are no



representations, warranties, or stipulations, either oral or written, not contained herein.

- L. Any alterations, variations, modifications, or waivers of the provisions of this Agreement shall only be valid when they have been reduced to writing and signed by authorized representatives of the party against whom enforcement is sought.
- M. The provisions of this Agreement shall be deemed severable. If any part of this Agreement is rendered void, invalid, or unenforceable, such rendering shall not affect the enforceability of the remainder of this Agreement unless the part or parts which are void, invalid or otherwise unenforceable shall substantially impair the value of the entire agreement with respect to any party.
- N. This Agreement shall be governed by the laws of the State of Alabama, and the appropriate venue for any actions arising out of this Agreement would be Baldwin County, Alabama.
- O. Contractor shall obtain, at its own expense, all necessary licenses, permits, insurance, authorization and assurances necessary in order to abide by the terms of this Agreement.

## V. INSURANCE.

For the term of this Agreement, the Contractor shall acquire and maintain in full force and effect the following liability and comprehensive insurance issued by a company licensed and qualified to do business in the State of Alabama, ***which such insurance shall name the City of Orange Beach as an additional insured***, and shall attach to this contract, as proof thereof, a certificate of insurance issued by an agent licensed and qualified to do business in the State of Alabama:

General Liability Insurance - public liability including premises, products, complete operations and automobile comprehensive and liability, including owned, non-owned, and hired vehicles.

Either:

- (1) Bodily injury liability:  
\$250,000 each person  
\$500,000 each occurrence  
Property damage liability –  
\$100,000 each occurrence

**Or,**

- (2) Bodily injury and property damage  
combined -  
\$500,000 per occurrence

If the certificate of insurance referenced in this Agreement does not evidence insurance of owned vehicles, said certificate and this sentence shall evidence the Contractor's covenant that it does not own any vehicles and that it will not purchase or obtain any vehicles during the term of this Agreement.

Said certificate shall require that said insurance coverage will not be altered or terminated unless City shall be given written notice of such alteration or termination delivered to City not less than thirty (30) days before the effective date of such alteration or termination

IN WITNESS WHEREOF, we have hereunto set our hands and seals on this the day and year first written.

CITY OF ORANGE BEACH, A Municipal Corporation

By: \_\_\_\_\_  
Mayor Tony Kennon

ATTEST:

\_\_\_\_\_  
City Clerk

CONTRACTOR:  
Sawgrass Consulting, LLC

By: \_\_\_\_\_  
Ercil E Godwin, PLS  
Its Principal

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, the undersigned Notary Public in and for said County in said State, hereby certify that Anthony T. Kennon, and Cathy Constantino, whose names as Mayor and City Clerk, respectively, of the City of Orange Beach, a Municipal Corporation, are signed to the foregoing Contract, and who are known to me, acknowledged before me on this day, that, being informed of the contents of the above and foregoing, they, as such officers and with full authority, executed the same voluntarily for and as the act of said municipal corporation on the day the same bears date.

Given under my hand and seal this the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

(SEAL)

\_\_\_\_\_  
Notary Public  
State of Alabama At-Large  
My Commission Expires: \_\_\_\_\_

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, the undersigned Notary Public, in and for said county in said state, hereby certify that \_\_\_\_\_, whose name as Principal of Sawgrass Consulting, LLC, an Alabama Limited Liability Company, is signed to the foregoing Contract, and who is known to me, acknowledged before me on this day that, being informed of the contents of the above and foregoing Contract, he as such officer and with full authority, executed the same voluntarily for and as the act of said corporation on the day the same bears date.

Given under my hand and seal this the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

(SEAL)

\_\_\_\_\_  
Notary Public  
State of Alabama At-Large  
My Commission Expires: \_\_\_\_\_







**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Engineering and Environmental

**Description of Topic:**

ADDITION: Resolution authorizing the Mayor to execute a task order with Sawgrass Consulting LLC to perform land surveying of three properties located south of the Orange Beach Elementary School in an amount not to exceed \$4,000.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

Administration operating budget

---

**ATTACHMENTS:**

Description

- ▣ Resolution
- ▣ Task Order

**RESOLUTION NO. 17-xxx**

**A RESOLUTION AUTHORIZING EXECUTION OF A TASK ORDER  
WITH SAWGRASS CONSULTING, LLC, TO PROVIDE  
BOUNDARY SURVEYS OF PROPERTIES LOCATED SOUTH OF THE  
ORANGE BEACH ELEMENTARY SCHOOL  
IN AN AMOUNT NOT TO EXCEED \$4,000**

---

**FINDINGS:**

1. The Orange Beach City Council, by Resolution No. 17-\_\_\_\_, adopted August 15, 2017, approved a contract with Sawgrass Consulting, LLC, to perform certain professional engineering and construction management services (“the Contract”).
2. The Contract authorized work to be assigned by one or more task orders approved from time to time by the City Council.
3. The City’s Engineering & Environmental Department has submitted the Task Order attached as Exhibit A for Council approval.
4. The proposed Task Order requires Sawgrass Consulting, LLC, to provide boundary surveys of properties located south of the Orange Beach Elementary School.
5. The scope of work described in the Task Order is authorized by the Contract and furthers public health, safety, and welfare.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the Mayor is hereby authorized to execute the Task Order as presented to Council between the City of Orange Beach and Sawgrass Consulting, LLC, on behalf of the City of Orange Beach subject to final approval by the City Attorney;
2. That the City Council authorizes payment in an amount not to exceed \$4,000.00 to Sawgrass Consulting, LLC, to complete the Task Order as presented; and
3. That this Resolution shall become effective immediately upon its adoption.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

---

Renee Eberly  
City Clerk

**C E R T I F I C A T E**

I, Renee Eberly, City Clerk of the City of Orange Beach, Alabama, do hereby certify that the foregoing is a true and correct copy of Resolution No. 17-xxx, which was duly and legally adopted at a regular meeting of the City Council on August 15, 2017.

---

City Clerk



August 08, 2017

Kit Alexander  
Engineering & Environmental Services Director  
City of Orange Beach  
P. O. Box 2432  
Orange Beach, AL 36561

RE: Eastern Shore Acquisitions/Parlay Investments Property

Dear Kit:

Sawgrass Consulting, LLC (Sawgrass) is honored to provide the Surveying Services necessary to prepare a BOUNDARY SURVEY of the 3 Parcels referred to as the Eastern Shore Acquisitions and Parlay Investments, property located just south of the Orange Beach Elementary School. Our fee for the Survey is as follows:

**Fee**

All services described herein will be performed under a lump sum fee.

- |                                  |            |
|----------------------------------|------------|
| • Boundary Survey                | \$3,500.00 |
| • ALTA Certification (if needed) | \$500.00   |

If you have any questions, please do not hesitate to contact me at 251.234.0229. Thanks again for the opportunity.

Sincerely,



Ercil E. Godwin, PLS  
Vice President



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

Public hearing for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0603-ZT-17, Section 10.02 - Architectural Restrictions, Metal Siding on Commercial Buildings.

**Action Options/Recommendation:**

This application is a request from the Community Development Department to amend Section 10.02 of the Zoning Ordinance to remove the allowances for metal siding on the rear and sides of commercial buildings.

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Staff Report
- ▣ Proposed Amendment

---

## MEMORANDUM

---

**TO:** Mayor Kennon and City Council

**FROM:** Griffin L. Powell, Planner II

**CC:** Kit Alexander, E&ES Director  
Wanda Cochran, City Attorney  
Renee Eberly, City Clerk  
Ken Grimes, City Administrator  
Paulette Taylor, Planner I

**DATE:** August 15, 2017

**RE:** Zoning Text Amendment to Section 10.02  
Architectural Restrictions, Metal Siding on Commercial Buildings

**CASE NO.:** 0603-ZT-17

---

- (1) This application is a request from the Community Development Department to amend Section 10.02 of the Zoning Ordinance to remove the allowances for metal siding on the rear and sides of commercial buildings.
- (2) The Planning Commission held a public hearing and considered this application at its regular meeting on July 10, 2017. The Planning Commission gave the zoning amendment a positive recommendation (8-1 vote).
- (3) Section 10.02 allows a building to be metal-sided or have metal exterior walls on the rear side if the property is not adjacent to residentially zoned or used property. This amendment will remove the allowance from the Zoning Ordinance.
- (4) The proposed language begins on Line 33 of the attached amendment. Text underlined represents language to be added, while text with strikethroughs represents language to be removed.
- (5) There have been concerns expressed that the proposed amendment would prohibit metal-sided barns on properties zoned Agricultural. In reviewing Section 10.02, metal-sided buildings are not prohibited in AG zoning district.



(6) Section 10.2 further states that no metal sided, metal exterior walled buildings, except for small accessory buildings to a residence, will be allowed to be constructed in the following zoning classifications:

- RS 1 Single-Family Residential District, except for properties in excess of three (3) acres
- RS-2 Single Family Residential District
- RS-3 Single Family Residential District
- RM-1 Multi Family Residential District
- RM-2 Multi Family Residential District
- NB Neighborhood Business District
- BR-1 Beach Resort District
- BR-2 Beach Resort District
- GB General Business District, except for dry boat storage buildings
- RO Retail Office District
- MR Marine Resort District, except for dry boat storage buildings
- PUD Planned Unit Development, except for dry boat storage buildings

## ZONING TEXT AMENDMENT

# CITY OF ORANGE BEACH

**CASE NO. 0603-ZT-17**

## SECTION 10.02

**AN ORDINANCE** to amend and reordain Section 10.02 of the Orange Beach Zoning Ordinance to remove allowances for metal siding on the rear and sides of commercial buildings.

**SECTION 1:** Section 10.02 of the Orange Beach Zoning Ordinance is hereby amended and reordained to read as follows:

## 10.02 ARCHITECTURAL RESTRICTIONS

No metal sided, metal exterior walled buildings, except for small accessory buildings to a residence, will be allowed to be constructed in the following zoning classifications:

RS 1	Single-Family Residential District, except for properties in excess of three (3) acres
------	--

RS-2 Single Family Residential District

RS-3 Single Family Residential District

RM-1 Multi Family Residential District

RM-2 Multi Family Residential District

NB Neighborhood Business District

BR-1 Beach Resort District

25 BR-2 Beach Resort District  
26 GB General Business District, except for dry boat storage buildings (rev.  
27 04/15/2003)  
28 RO Retail Office District (rev. 01/15/08)  
29 MR Marine Resort District, except for dry boat storage buildings (rev. 04/15/2003)  
30 PUD Planned Unit Development, except for dry boat storage buildings (rev.  
31 04/15/2003)  
32

33 ~~A building may be metal sided or have metal exterior walls on the rear side of the building,~~  
34 ~~provided that it is not adjacent to residentially zoned or used property. (rev. 04/15/2003)~~  
35

36 Mini-warehouse buildings constructed on properties zoned GB and PUD may be metal sided  
37 if one (1) of the following three (3) criteria is met.

38  
39 a. The mini-warehouse building is sited to rear of a principal building; or  
40

41 b. The mini-warehouse building is sited more than one hundred seventy-five (175) feet  
42 from the right-of-ways of Canal Road, Orange Beach Boulevard, Perdido Beach Boulevard,  
43 and the Foley Beach Express; or  
44

45 c. Enclosed by an eight (8) feet privacy fence and meets all of the landscape  
46 requirements of the Zoning Ordinance. (rev. 04/15/2003)  
47





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

Public hearing for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0605-ZT-17, Section 5.04 - Temporary Storage Containers.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Staff Report
- ▣ Proposed Amendment

---

## MEMORANDUM

---

**TO:** Mayor Kennon and City Council

**FROM:** Griffin L. Powell, Planner II

**CC:** Kit Alexander, E&ES Director  
Wanda Cochran, City Attorney  
Renee Eberly, City Clerk  
Ken Grimes, City Administrator  
Paulette Taylor, Planner I

**DATE:** August 15, 2017

**RE:** Zoning Text Amendment to Section 5.04  
Temporary Storage Containers

**CASE NO.:** 0605-ZT-17

---

- (1) This application is a request from the Community Development Department to amend Section 5.04 of the Zoning Ordinance to regulate the use of PODS and metal cargo containers as temporary storage structures.
- (2) The Planning Commission held a public hearing and considered this application at its regular meeting on Monday, July 10, 2017. The Planning Commission gave the proposed zoning amendment a positive recommendation (7-2 vote).
- (3) For this amendment, a *temporary storage container* is any box-like container transported by truck or trailer to a designated location for the limited purpose of loading and unloading contents. Such containers may include cargo containers and PODS (portable on-demand storage) and are intended for the temporary storage of household goods on residential properties and business specific goods on commercial properties. Such containers shall not be considered a building.
- (4) The Zoning Ordinance presently does not have provisions to regulate temporary storage containers on residential and commercial properties. This amendment will add a section to the accessory structure guidelines in Section 5.04.

- (5) The proposed language begins on Line 114 of the attached amendment. Text underlined represents language to be added, while text with strikethroughs represents language to be removed.
- (6) The Planning Commission considered this application at its regular meeting in June 2017 and recommended the following changes before recommendation to City Council:
- Revise the submittal for a Temporary Storage Container Permit to include a description of the type of container and the general location of placement. In addition, a permit fee will be required at time of issuance.
  - For single-family dwellings, duplexes, and PUDs containing single-family dwellings and duplexes, the recommended time period is 45 days.
  - For commercial and multi-family residential, the recommended time period is 90 days.
  - A Temporary Storage Container Permit is not required if a storage container is to remain on the site for a period equal to or less than ten consecutive days.



# ZONING TEXT AMENDMENT

# CITY OF ORANGE BEACH

**CASE NO. 0605-ZT-17**

## SECTION 5.04

**AN ORDINANCE** to amend and reordain Section 5.04 of the Orange Beach Zoning Ordinance to regulate the use of PODS and metal cargo containers as temporary storage structures.

**SECTION 1:** Section 5.04 of the Orange Beach Zoning Ordinance is hereby amended and reordained to read as follows:

## 5.04 ACCESSORY STRUCTURES AND/OR BUILDINGS (rev. 07/07/2015)

## 5.0401 Definitions

The following words, phases, and its derivations, as used herein, shall have the meanings ascribed to it, except where the context clearly indicates a different meaning.

a. **Accessory Structure** is a subordinate structure that is detached from but on the same lot as the principal structure, and the use of which is (1) reasonably necessary to the use of the principal structure; (2) subordinate to the principal structure; and (3) does not change or alter the character of the premises. Accessory structures may be classified in one of the following categories:

25     **1.     Detached accessory structures** are storage buildings, detached garages, carports,  
26     wood sheds, tool sheds, gazebos, non-commercial greenhouses, workshops, and similar  
27     structures.

28  
29     **2.     Marine accessory structures** are boathouses located over water, piers, docks, boat  
30     ramps, boat slips, and similar structures.

31  
32     **3.     Pool accessory structures** are pool houses and cabanas.

33  
34     Parking areas, driveways, fire hydrants, mailboxes, trash containers/receptacles, telephone  
35     and other utility poles, bulkheads, and fences are not accessory structures.

36  
37     **b.     Accessory Use** is the use of land, a detached structure or building, or portion  
38     thereof customarily incidental and subordinate to the principal use of the land, structure or  
39     building and located on the same lot with the principal use.

40  
41     All accessory structures and uses are subject to the requirements of this Ordinance.

42  
43     **5.0402         Number of Accessory Structures on Lot**

44  
45     Only one (1) principal structure and one (1) detached accessory structure may be erected  
46     on any lot located in the RS zoning district, unless otherwise specified by Section 5.0601  
47     of this Ordinance. In addition to the principal structure and detached accessory structure, a

lot in the RS zoning district may also contain marine accessory structures and one (1) pool accessory structure.

No accessory structure shall be used as a dwelling unit.

**5.0403            Location on Lot**

Accessory structures are permitted in the side or rear yard. Accessory structures may be permitted in the front yard if the distance between the accessory structure and the required front setback line is a minimum of one hundred (100) feet.

**5.0404            Maximum Area**

The combined square footage of the detached accessory structure and pool accessory structure shall not exceed thirty percent (30%) of the yard area in which it is located or seventy-five percent (75%) of the square footage of the principal structure, whichever is less.

The combined square footage for maximum area does not include the square footage of the marine accessory structures.

**5.0405            Maximum Height**



Detached accessory structures and pool accessory structures are limited to a maximum height of twenty (20) feet. Marine accessory structures are excluded from the height limit.

#### **5.0406 Setbacks**

Detached accessory structure or pool accessory structures with a square footage equal to or less than one hundred (100) square feet shall be located a minimum of five (5) feet from any rear or side lot line. Detached accessory structures or pool accessory structures with a square footage exceeding one hundred (100) square feet and equal to or less than four hundred (400) square feet shall be located a minimum of ten (10) feet from any rear or side lot line. Detached accessory structures or pool accessory structures with a square footage exceeding four hundred (400) square feet shall have the same minimum setback requirements listed in Section 4.03 of this Ordinance for the principal structure. Marine accessory structures are excluded from the setback requirements.

Detached accessory structures or pool accessory structures with a maximum height of ten (10) feet or less shall be located a minimum of ten (10) feet from any rear or side lot line. Detached accessory structures or pool accessory structures with a maximum height exceeding ten (10) feet shall have the same minimum setback requirements listed in Section 4.03 of this Ordinance for the principal structure.

When accessory structures are located in the front yard, the accessory structures shall be located a minimum of one hundred (100) feet from the required front setback line for the principal structure.

95

96   **5.0407           Separation between Principal and Accessory Structures**

97

98   Accessory structures shall be located no closer than five (5) feet from the principal  
99   structure.

100

101   **5.0408           Utilities**

102

103   There shall be one (1) power meter to service the principal structure and accessory  
104   structures. The Building Official may authorize requests for additional power meters if the  
105   property owner can provide evidence to justify the need for such.

106

107   **5.0409           Portable Buildings**

108

109   Portable buildings affiliated with new construction may be permitted after receipt of a  
110   building permit issued by the Orange Beach Building Official. No portable building shall be  
111   permitted on any parcel of land except upon the approval of a temporary permit by City  
112   Council. Residential storage buildings are exempted from this requirement.

113

114   **5.0410           Temporary Storage Containers**

115

116   **a.   Definition.** A temporary storage container is any box-like container transported by  
117   truck or trailer to a designated location for the limited purpose of loading and unloading  
118   contents. Such containers may include cargo containers and PODS (portable on-demand

storage) and are intended for the temporary storage of household goods on residential properties and business specific goods on commercial properties. Such containers shall not be permanent, shall not be considered a building, and shall not be connected to any utilities.

**b. Permit.** A Temporary Storage Container Permit shall be required prior to placing a temporary storage container on private property. An application for Temporary Storage Container Permit shall be made to the Community Development Department on forms prescribed by the Department. The application shall include a description of the type of container and the general location of the placement. A permit fee will be required at the time of permit issuance.

**c. Number and Time Period.** For single-family dwellings, duplexes, and Planned Unit Developments containing single-family dwellings or duplexes, no more than one (1) temporary storage container shall be permitted for a period of 45 days.

For multi-family residential and commercial properties, multiple temporary storage containers may be permitted and shall be allowed for a period of 90 days.

**d. Time Extension.** A property owner may request a time extension on the placement of a temporary storage container, provided the property owner can demonstrate that extenuating circumstances exist to justify the extension.



e. **Placement or Location.** Temporary storage containers shall be setback a minimum of ten (10) feet from the front property line and shall not encroach on public property or public or private right-of-way. Temporary storage containers are prohibited on vacant lots.

f. **Exception.** A Temporary Storage Container Permit will not be required if a storage container is to remain on the site for a time period equal to or less than ten consecutive days.

For multi-family residential and commercial properties, temporary storage containers shall not be placed in required parking spaces or in required landscaped areas unless approved as a condition of the permit.

~~5.0410~~ 5.0411      **Time of Construction**

No accessory structure shall be constructed upon a lot until the building permit for the principal structure to which it is accessory has been acquired.

~~5.0411~~ 5.0412      **Removal of Accessory Structure**

If the principal structure is destroyed or removed, the accessory structure and use shall no longer be allowed, unless a building permit for the principal structure is issued within one (1) year. City Council may grant a time extension on an existing conforming accessory structure should the accessory structure become nonconforming after the effective date of this Ordinance. The length of the extension is at the discretion of City Council.

166

167   A nonconforming accessory structure existing before the effective date of this Ordinance  
168   may remain but shall not be enlarged, extended or replaced, except in strict compliance  
169   with all requirements of this Ordinance.

170



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

Public hearing for an ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0702-PUD-17, Phoenix Orange Beach II PUD Preliminary and Final PUD Approval.

**Action Options/Recommendation:**

The applicant requests preliminary and final PUD approval to rezone 4.8 acres from BR-2 (Beach Resort High Density) to PUD (Planned Unit Development) for a condominium development with 120 units.

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Staff Report
- ▣ Application
- ▣ By Right Diagrams
- ▣ Site Plan
- ▣ Public Notice Responses
- ▣ Action Letter
- ▣ Presentation





**PLANNING & ZONING**  
COMMUNITY DEVELOPMENT DEPARTMENT  
P.O. BOX 2432  
ORANGE BEACH, ALABAMA 36561



**Orange Beach City Council  
Meeting – August 15, 2017**

---

**Case No. 0702-PUD-17  
Phoenix Orange Beach PUD II  
Preliminary and Final PUD Approval**

**STAFF REPORT**

**Owner/Applicant:** Brett Real Estate Robinson Development Company Inc.,  
William T. Robinson, Jr. (Owner/Applicant)  
25299 Canal Rd., Suite B-4, Orange Beach, AL 36561  
(251) 981-4713, [harrison@gulftel.com](mailto:harrison@gulftel.com)

<b>Address of Property:</b>	<b>Tax Parcels:</b>	<b>PPIN:</b>
26686 Perdido Beach Blvd.	05-65-02-09-0-002-078.002	5210
26688 Perdido Beach Blvd.	05-65-02-09-0-002-078.000	5211
26714 Perdido Beach Blvd.	05-65-02-09-0-002-079.000	39293

---

**I. GENERAL INFORMATION**

**Request:** Preliminary and Final PUD Approval

The applicant requests preliminary and final PUD approval to rezone 4.8 acres from BR-2 (Beach Resort High Density) to PUD (Planned Unit Development) for a condominium development with 120 units.

**Planning Commission:** The Planning Commission held a public hearing and considered this application at its regular meeting on Monday, July 10, 2017. The Planning Commission gave the application a positive recommendation (9-0 vote).

**Location:** The subject property entails three beachfront lots with a combine frontage of 208 feet on Perdido Beach Boulevard. The Island House Hotel is located to the west, while Tidewater Condominium is to the east.

**Site History:** The project area contains three lots. A single-family residence is presently on the eastern lot. The 2001 aerial photography shows that single-family residences were on the two western lots but were severely damaged and removed by Hurricane Ivan according to the 2005 aerial photography.

## Why is Planning Commission action required?

Article 4, Section 4.02, Requirements for Lot Area, Lot Width and Other Factors  
Article 4, Section 4.03, Minimum Setbacks  
Article 4, Section 4.04, Maximum Building Height and Maximum Density per Acre  
Article 7, Section 7.03, Design Standards  
Article 7, Section 7.04, Regulations  
Article 7, Section 7.05, Procedures for Preliminary Approval  
Article 8, Section 8.01, Required Off-Street Parking  
Article 10, Section 10.03, Site Plan Requirements and Architectural Review  
Article 12, Section 12.07, Amendments  
Article 16, Tree Protection and Landscaping

**Present Zoning:** BR-2 (Beach Resort High Density)

**Present Use:** Single-Family Residential and Vacant

### **Surrounding Land**

**Use and Zoning:** **North:** Shrimp Basket, PUD (Planned Unit Development – Zeke’s Marina); Single-Family Residential, RS-1 (Single-Family Residential)  
**South:** Gulf of Mexico  
**East:** Tidewater Condominium, BR-2 (Beach Resort High Density)  
**West:** Island House Hotel, BR-2 (Beach Resort High Density)

**Special Districts:** **Overlay Zoning:** Beach Overlay District  
**Airport Zone:** Transitional Surface E  
**Flood Zone:** X, VE-12, VE-13

### **Comprehensive**

**Plan:** **Future Land Use:** Multi-Family Residential High Density  
**Neighborhood District:** Beach Resort

**Nearby Streets:** Perdido Beach Boulevard (Highway 182) bounds the subject property on its north sides. The project will have two driveways onto Highway 182.

## **II. COMPREHENSIVE PLAN REVIEW**

Section 7.03 of the Zoning Ordinance states that it is the purpose and intent of the PUD Ordinance to have developments that promote the goals of the Comprehensive Plan and that no PUD shall be approved unless it is consistent with the goals of the Comprehensive Plan. The Comprehensive Plan shows the subject property as part of the **Beach Resort Neighborhood**. The proposed rezoning and project comply with the goals of this neighborhood as follows:

- **Continuing to implement stringent guidelines for architectural standards, tiered buildings, buffered parking and heavy landscaping per the Beach Overlay District.**

The applicant indicates the project will entail the following features to compliment the Beach Overlay District:

- Proposing a total building square footage of 562,000 square feet as compared to 906,000 square feet that would be allowed under BR-2 zoning.
  - Proposing the building tower to be 215 feet from the front property line.
  - Proposing the parking structure to be 108 feet at the northeast corner and 44 feet at the northwest corner from the front property line.
  - Proposing to collect storm water along Highway into the project's underground retention system.
  - Proposing an attractive sidewalk, landscape and hardscape area along the right-of-way and Highway 182.
  - Proposing a landscaped pedestrian-oriented area along Highway 182 to compliment the pedestrian visual effects.
  - Proposing an attractive stepping back effect from parking garage to condominium tower with an aesthetic simulated window look at the front of the garage near the roadway.
- **Incorporating sidewalks and pedestrian amenities within required landscaping of proposed developments to support pedestrian traffic between developments.**

The project will have the required pedestrian-oriented area containing landscaping and the eight-foot wide sidewalk.

- **Establishing pedestrian crosswalks in strategic locations along Highway 182.**

The project area is not located near a strategic location for a crosswalk.

- **Examining additional beach access points to compliment the public accesses at Romar Beach, Cotton Bayou and Florida Point.**

The project will not provide a public beach access. However, the project will provide the City an easement for dune restoration and as an access for emergency services and beach services.

### III. PUD DESIGN STANDARDS

Section 7.03 of the Zoning Ordinance states that all PUD proposals shall achieve one or more of the following design standard objectives. The applicant indicates that the proposed PUD complies with the following:

- **A maximum choice in the types of environment; occupancy tenure, such as cooperatives, individual ownership, condominium and leasehold; housing type; lot sizes; and community facilities available to existing and potential residents at all economic levels.**

The project will consist of individual ownership of the units and common ownership of the structure and recreational facilities.

- **More usable and suitably located open space, recreation areas and other common facilities.**

The project will be utilizing lower density (25 units per acre vs. 42 units per acre) and smaller footprint by building vertical allowing for more landscaping and beachfront amenities for use of the owners and guests.



- **Maximum enhancement and minimal disruption of existing natural features and amenities.**

The smaller building footprint protects more site features according to the applicant.

- **Promote a transition between adjacent and nearby zoning districts, land uses, and development intensities.**

The project area is adjacent to other BR-2 properties already developed with high rise structures, and the proposed PUD will be similar in occupancy (high density residential).

- **More efficient and economic arrangement of varied land use, buildings, circulation systems and facilities.**

The applicant asserts that vertical construction is a more efficient use of facilities and equipment.

#### **IV. PUD MASTER PLAN REVIEW**

Section 7.04 of the Zoning Ordinance states that an approved PUD shall be considered a separate zoning district in which development plans, as approved, establish the specific restrictions and regulations customized to fit the type of plan proposed by which the development shall be governed. Restrictions may be greater or lesser than the ones otherwise imposed by the Zoning Ordinance and Subdivision Regulations to achieve a development with fits the City's Comprehensive Plan and PUD Design Standards.

1. **Density: The criteria for establishing an average density includes the land use plan for the area, existing surrounding density, density permitted by the existing zoning classification, adequacy of existing and proposed public facilities and services and site characteristics. Density must generally conform to the requirements as set out in Article 4 of this ordinance and conform to the Comprehensive Plan. (Section 7.04, A.)**

The proposed density is 25 units per acre cased on 120 units and 4.8 acres.

For residential buildings with six or more habitable levels, Article 4 permits a maximum density of 42 units per acre, and based on 4.8 acres, 201 units would the maximum units allowed.

2. **Common Open Space: At least 20% of the area covered by a Final Development Plan shall be landscaped or provide common open space owned and operated by the owner/developer or dedicated to a homeowner association or similar group. (Section 7.04, B.)**

The project is a condominium development, and there will be individual ownership of the units and common ownership of the structure, common areas, and recreational facilities.

The submitted plan shows that 20.4% of the developable site will be landscaped.

3. **Access and Parking: All streets, thoroughfares and access ways shall be designed to effectively relate to the major thoroughfare plans of the City of Orange Beach. Adequate**

**off-street parking shall generally conform to the off-street parking requirements set forth in Article 8 of the Zoning Ordinance unless otherwise approved. (Section 7.04, C.)**

Perdido Beach Boulevard (Highway 182) bounds the subject property on its north sides. The project will have two driveways onto Highway 182.

Based on the following table, the project will require 312 parking spaces.

<i>Description</i>	<i>Unit of Measure</i>	<i>Code Requirement</i>	<i>Spaces</i>
2-BR Units	24	2 spaces / unit	48
3-BR Units	48	2 spaces / unit	96
4-BR Units	48	3 spaces / unit	144
Guest Parking	120	1 space / total units	24
<b>Required Parking</b>			<b>312</b>

The project will provide the following spaces within its parking structure in front of the tower.

<i>Description</i>	<i>Spaces</i>
Level 1 – Ground	33
Level 1 – Garage	50
Level 2	50
Level 3	54
Level 4	54
Level 5	54
Level 6	28
<b>Provided Parking</b>	<b>323</b>

- Perimeter Requirements:** The Planning Commission the City Council may impose the requirement that structures, buildings and streets located at the perimeter of the development be permanently screened to protect the privacy of the adjacent existing uses. (Section 7.04, D.)

The project does not require land use buffering. The Island House Hotel is located to the west, while Tidewater Condominium is to the east.

- Signage:** The size, location, design and nature of signs, if any, and the intensity and direction of area floodlighting shall be detailed in the application and must generally conform to the sign regulations in Article 15, unless the massing and scale of the PUD would make additional or different requirements desirable. Signs must nonetheless fit the design character of the development. (Section 7.04, E.)

The applicant indicates that signage will be attached to the building. *Phoenix* will be 12 inches high and other lettering will be 10 inches high. The lettering will be bronze aluminum.

- Height Limitation:** The criteria for establishing height limitations includes the land use plan for the area, existing surrounding building heights, heights permitted by the existing zoning classification, adequacy of existing and proposed public facilities and services and site characteristics. Height limitations must generally conform to the

**requirements as set out in Article 4 of this ordinance and conform to the Comprehensive Plan as well as the architectural standards set out in Article 10. (Section 7.04, F.)**

The parking structures that will be located between the tower and Highway 182 will have a height of six levels. The plans show Level 1 having a ground and garage level. The residential tower will have a total height of 26 floors. The following table provides a breakdown of the proposed levels with parking spaces provided and number of units proposed at each level.

<i>Parking Tower</i>	<i>Residential Tower</i>	<i>Use</i>	<i>Parking Spaces</i>	<i>2-BR Units</i>	<i>3-BR Units</i>	<i>4-BR Units</i>
Level 1	Level 1	Parking / Swimming Pools	83			
Level 2	Level 2	Parking / Lobby, Meeting Rooms, Fitness Facilities	50			
Level 3	Level 3	Parking / Residential	54	1	2	2
Level 4	Level 4	Parking / Residential	54	1	2	2
Level 5	Level 5	Parking / Residential	54	1	2	2
Level 6	Level 6	Parking / Residential	28	1	2	2
	Level 7	Residential		1	2	2
	Level 8	Residential		1	2	2
	Level 9	Residential		1	2	2
	Level 10	Residential		1	2	2
	Level 11	Residential		1	2	2
	Level 12	Residential		1	2	2
	Level 13	Residential		1	2	2
	Level 14	Residential		1	2	2
	Level 15	Residential		1	2	2
	Level 16	Residential		1	2	2
	Level 17	Residential		1	2	2
	Level 18	Residential		1	2	2
	Level 19	Residential		1	2	2
	Level 20	Residential		1	2	2
	Level 21	Residential		1	2	2
	Level 22	Residential		1	2	2
	Level 23	Residential		1	2	2
	Level 24	Residential		1	2	2
	Level 25	Residential		1	2	2
	Level 26	Residential		1	2	2

7. **Landscaping and Tree Protection:** The criteria for landscaping, removal of trees and protection of heritage trees should generally conform to the requirements of Article 16. (Section 7.04, G.)

The submitted plan shows that 20.4% of the developable site will be landscaped.

## **V. DEVIATIONS FROM THE ZONING ORDINANCE AND SUBDIVISION REGULATIONS**

### **1. The proposed PUD will deviate from the Zoning Ordinance as follows:**

- A. Section 4.03, Table 4.0302 (Building Incremental Setbacks): For condominium towers in the Beach Overlay District: *For each ten (10) feet of building height over one hundred (100) feet,*



*the required setback shall be increased by two (2) feet. This setback requirement is an incremental setback, applied to the structure at the specific given height, the intent being an allowance and incentive for the “stepping in” of the building structure profile.*

The proposed building height is 286.375 feet, and based on the incremental setback, the top of the tower should be 57.275 feet from the property line. Please see Sheets MD 100 through MD 104 in the applicant’s submittal to see how the project deviates. The dark lines represent what could be built under BR-2 zoning, while the light lines show what is being proposed.

- B. Section 4.04, Table 4.0403 (Habitable Levels): Of the 26 levels proposed, 24 will be habitable levels. Multi-family residential projects in the Beach Overlay District are limited to 20 habitable levels.

**2. There are no deviations from the Subdivision Regulations.**

The applicant will be required to combine the three lots.

**VI. STAFF COMMENTS**

1. The subject property is currently zoned BR-2. The applicant has provided a comparison of what could be built on the property by right to what the PUD proposes.

<i>Description</i>	<i>BR-2</i>	<i>PUD</i>	<i>Difference</i>
Density	42 units/acre	25 units/acre	decrease 41%
Units	201	120	decrease 40%
Gross Floor Area	906,000 SF	562,000 SF	decrease 38%
Building Tower Distance from 182	25 feet	215 feet	
Garage Tower Distance from 182	25 feet	44 feet	

2. There are no outstanding building code or zoning violations on the subject property.

**VII. PLANNING COMMISSION ACTION**

1. **APPROVAL** of preliminary and final PUD approval to rezone 4.8 acres from BR-2 (Beach Resort High Density) to PUD (Planned Unit Development) for a condominium development with 120 units.
2. **APPROVAL WITH CONDITIONS** of preliminary and final PUD approval.

**STAFF CONDITIONS:**

**Planning & Zoning:**

- Provide site plan conceptual approval from ALDOT.
- Filing for and obtaining approval of preliminary and final plat to combine the three lots for compliance with Section 3.2 of the Subdivision Regulations.

**Drainage & Stormwater:**

- Clarification is needed that the beach access will be constructed to provide vehicular access to the beach for emergency response and facilitation of beach services.

- Provide site plan conceptual approval from ALDOT.

**Landscaping:**

- The submitted landscaping plan is approved pending approval from the U.S. Fish and Wildlife Services.

**Fire Prevention:**

- The beach access road shall be 10 feet wide and built with reinforced pavers.

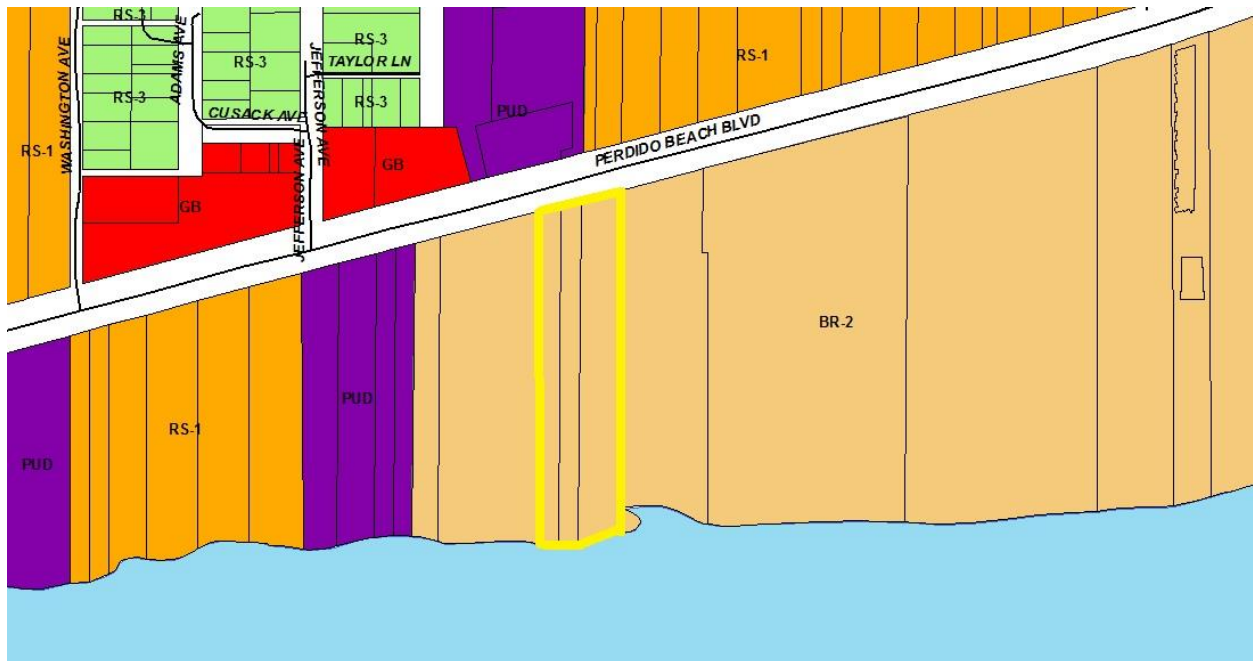
**Engineering:**

- The plans show a 25 HP duplex sewer pump station pumping to a manhole on Highway 182. According to the survey, there should be sufficient depth to allow gravity service and eliminate the lift station all together. If a lift station is preferred, the pumps should be much smaller.

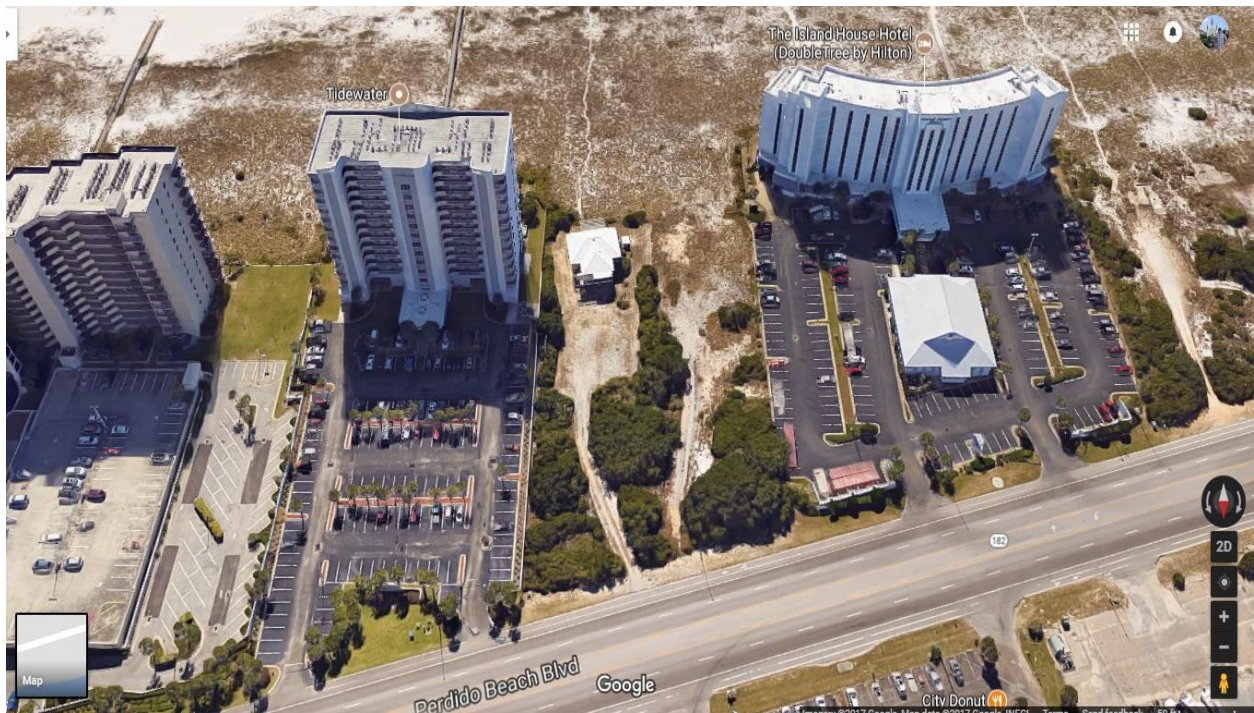
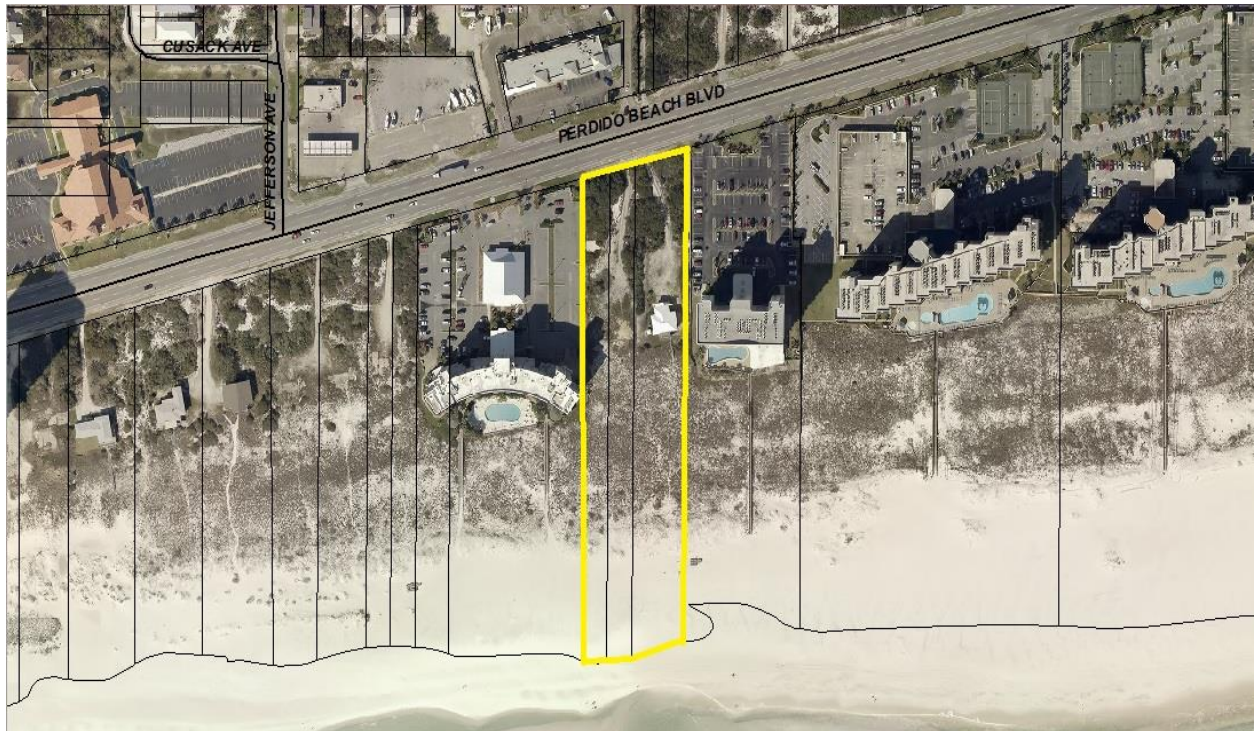
3. **DENIAL** of preliminary and final PUD approval.

**VIII. MAPS & PLANS**

**Zoning Map**

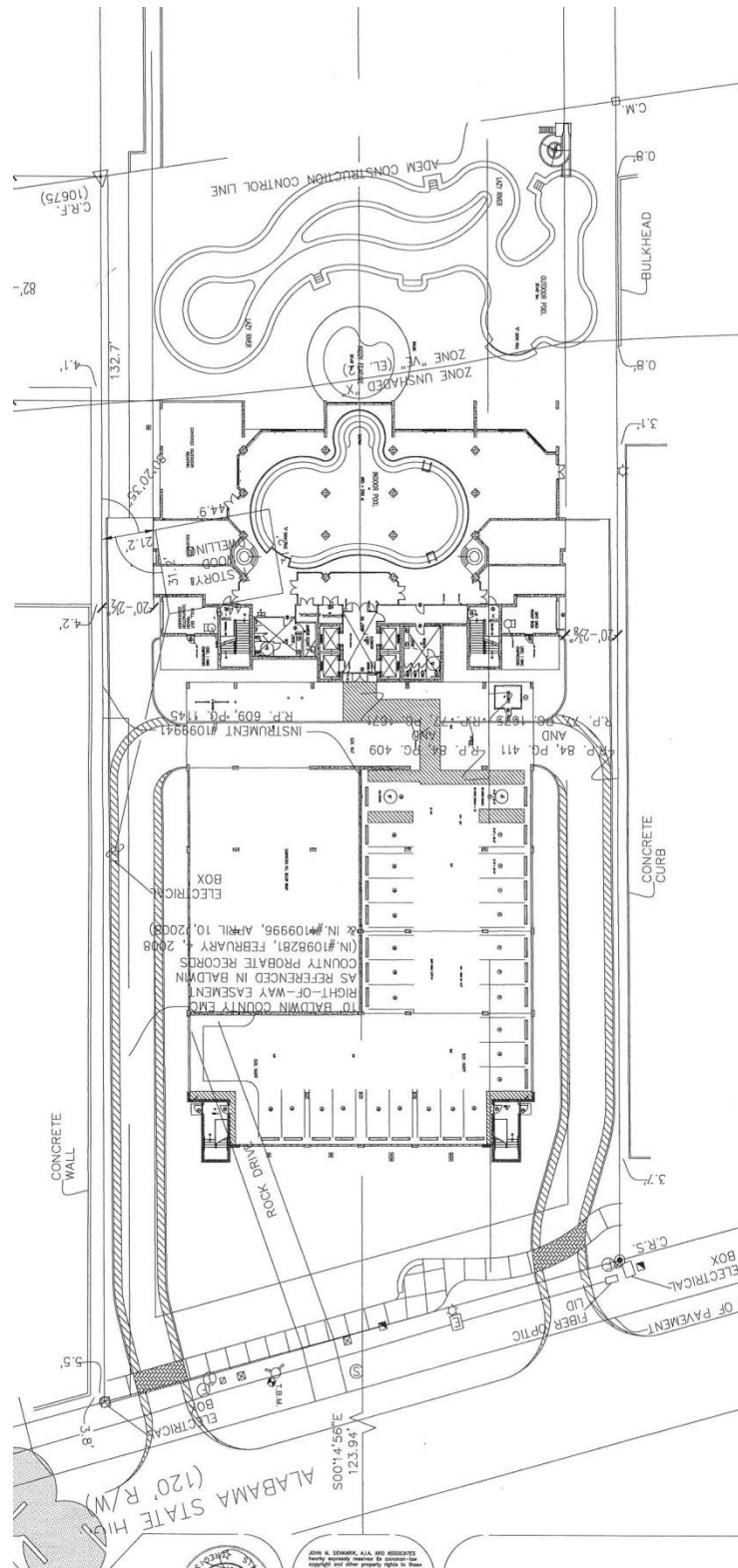


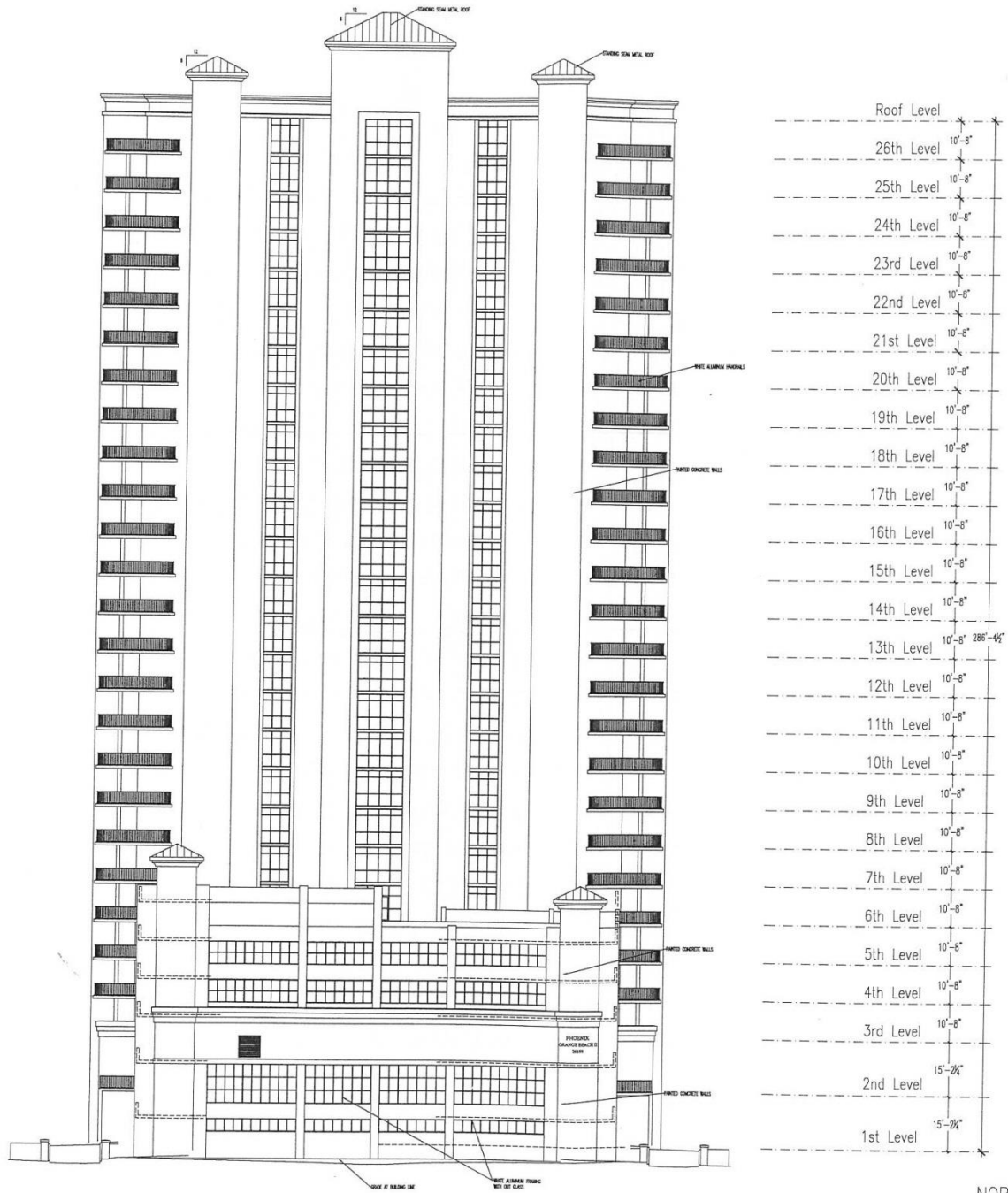
## Aerial Map





# PUD Master Plan





NORTH ELEV  
SCALE 1/16" =



## City of Orange Beach

COMMUNITY DEVELOPMENT DEPARTMENT

P.O. Box 2432

Orange Beach, AL 36561

251.981.2610 Fax 251.981.3725

<http://www.cityoforangebeach.com>

### DEVELOPMENT PERMIT APPLICATION

To be completed by Community Development Department Staff

#### APPLICATION DATA

Application #: 0702-PUD-17

Total Fees Paid: 1500<sup>00</sup>

Check Number: 99355

#### TYPE OF APPLICATION

- ☐ Administrative Site Plan Review
- ☐ Site Plan Review
- ☐ Preliminary/Final Minor Subdivision Approval
- ☐ Preliminary Major Subdivision Approval
- ☐ Final Major Subdivision Approval
- ☐ Rezoning
- ☒ Preliminary PUD Approval **FINAL**
- ☐ Final PUD Approval
- ☐ PUD Modification
- ☐ Temporary Portable Building

#### NAME OF PROJECT:

Phoenix Orange Beach II

**PROJECT DESCRIPTION:** (Provide Brief Description of Proposed Development, Subdivision, Rezoning, Portable Building, or Special Event; To include lot sizes, square footage of building coverage, number of lots, proposed land uses, number of units, number of buildings, a project narrative, etc.; if more space is needed attach a separate page)

See Attachment

#### PROPERTY INFORMATION:

Address: 26688 Perdido Beach Blvd. Tax Parcel #(s): 1) 65-02-09-0-002-078.002  
Orange Beach, Al 36561 2) 65-02-09-0-002-078.000  
3) 65-02-09-0-002-079.000

Existing Use: Residential House Zoning: BR-2 PPIN #(s) 5210,5211 & 39293

#### APPLICANT INFORMATION:

Name: Brett Real Estate Robinson Dev. Co., Inc. Contact Person: William T. Robinson, Jr.

Address: 25299 Canal Road, Suite B-4, Orange Beach, AL 36561

Phone #: ( 251 ) 981-4713 Fax #: ( 251 ) 981-4714 Email: harrisn@gulftel.com

#### OWNER INFORMATION:

Name: Brett Real Estate Robinson Dev. Co., Inc. Contact Person: William T. Robinson, Jr.

Address: 25299 Canal Road, Suite B-4 Orange Beach, al 36561

Phone #: ( 251 ) 981-4713 Fax #: ( 251 ) 9981-4714 Email: harrisn@gulftel.com

Signature (Applicant): William T. Robinson Jr. Date: 6/2/2017

Signature (Owner): William T. Robinson Jr. Date: 6/2/2017

**RECEIVED**  
**JUN - 2 2017**





## **Proposed Orange Beach Condominium Project Development Objectives**

6/2/2017

Brett Real Estate, Robinson Development Company, Inc. (Brett/Robinson) is proud to present our Phoenix Orange Beach II project to the City of Orange Beach for its consideration.

### **General purpose of the proposed development**

- \* Brett/Robinson proposes to provide luxury condominiums for property owners that will not only enhance the local beachfront neighborhood, but also the entire city and the Alabama gulf coast.
- \* The attractive pedestrian friendly property will complement the city's vision for Orange Beach.

### **General character (features) of the proposed development**

- \* The Phoenix Orange Beach II Condominium development proposes to construct a 120 unit condominium
- \* Proposes 81 less units than the by-right allowable number of 201 units
- \* Proposes less density than BR-2 allows (25 condos units per acre vs. 42 per acre)
- \* Proposes total building square footage of 562,000sf rather than the by-right square footage of 906,000sf
- \* Proposes the building tower at 215' from the street (30' is required)
- \* Proposes the northeast corner of garage at 108' from the ROW (30' is required) and northwest corner of garage at 44' from the ROW (30' required)
- \* Proposes more parking spaces than required (Required = 312 spaces vs. Actual = 324 spaces, actual includes 24 guest spaces)
- \* Proposes Floor Elevation at 18' above mean high tide (16' floor elevation allowed by Flood Zone Ordinance).
- \* Proposes providing the city with an easement for dune restoration
- \* Proposes providing the city with beach access

RECEIVED

JUN - 2 2017

- \* Proposes to collect storm water along Highway 182 into the project's underground storm water retention system
- \* Proposes an attractive sidewalk, landscape and hardscape along the ROW near the street
- \* Proposes a landscaped pedestrian oriented property which compliments the pedestrian visual effect
- \* Proposes an attractive stepping back effect from garage to condo tower with an aesthetic simulated window look at the front of the garage near the street
- \* Proposes locating the building north of V Zone in Unshaded X Zone even though the project could be constructed in V Zone

**Brett/Robinson statement reflecting compatibility with neighboring properties**

- \* Brett/Robinson not only develops in the City of Orange Beach, we also live, shop, send our children to school and attend church in Orange Beach. We have been doing these things here for the past forty years. We are convinced that Orange Beach is the best place to live, work and raise our children. We are grateful for the working relationship we have now and have had with Orange Beach authorities since the city was founded.

RECEIVED

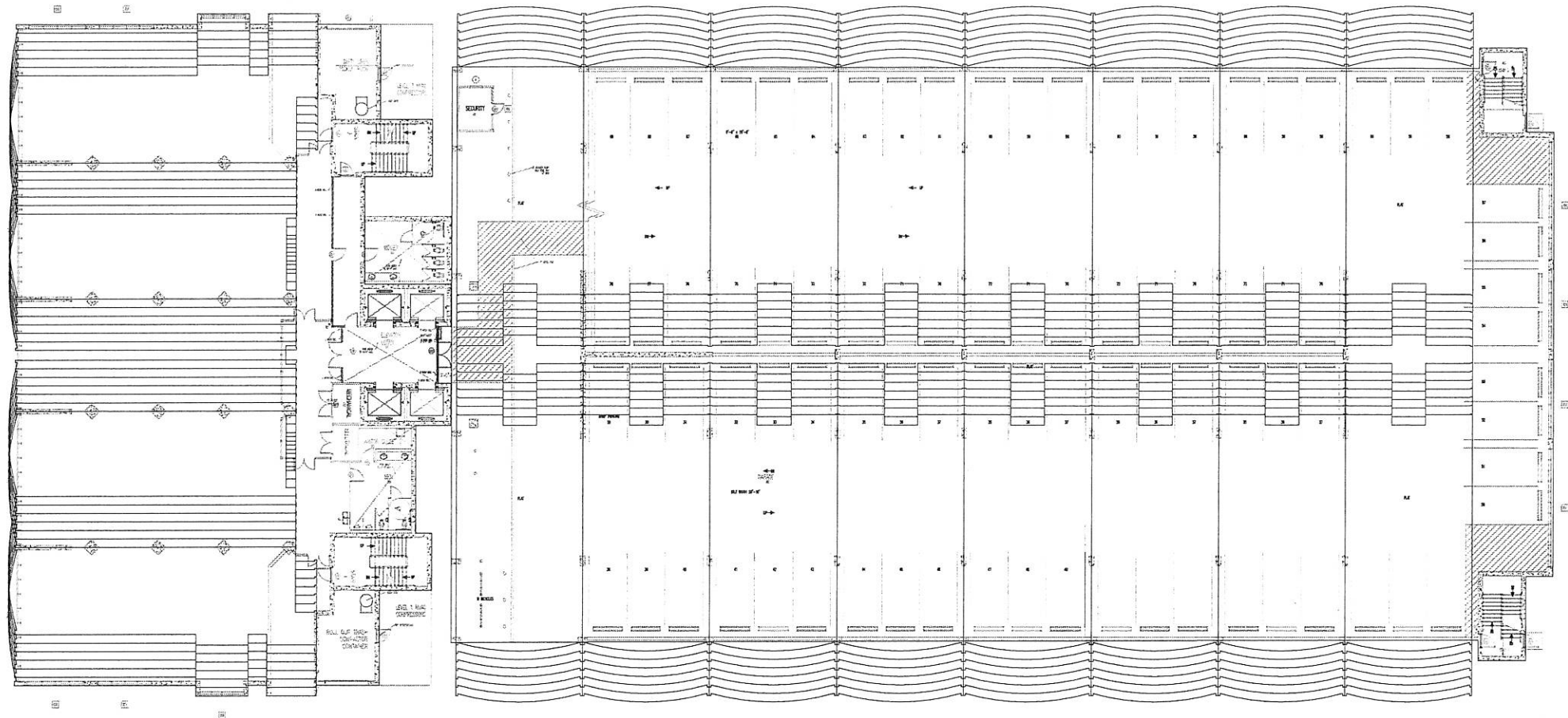
JUN - 2 2017

O.B. COMMUNITY DEV.

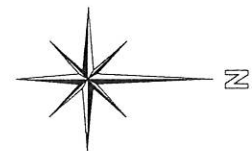








MAXIMUM DENSITY FLOOR PLAN  
SCALE 1/16" = 1'-0"



REVISIONS

1. 12-03-16

JOHN M. SENKARIK, A.I.A. AND ASSOCIATES  
INCORPORATED, a Florida corporation  
has prepared these drawings and specifications for the  
construction of the building described herein. The  
drawings and specifications are subject to the  
approval of the local building department and the  
Florida Department of Transportation. The  
drawings and specifications are not to be used for  
any other project without the written permission of  
JOHN M. SENKARIK, A.I.A. AND ASSOCIATES.

Florida Reg. No. AR0005371  
Alabama Reg. No. 1812

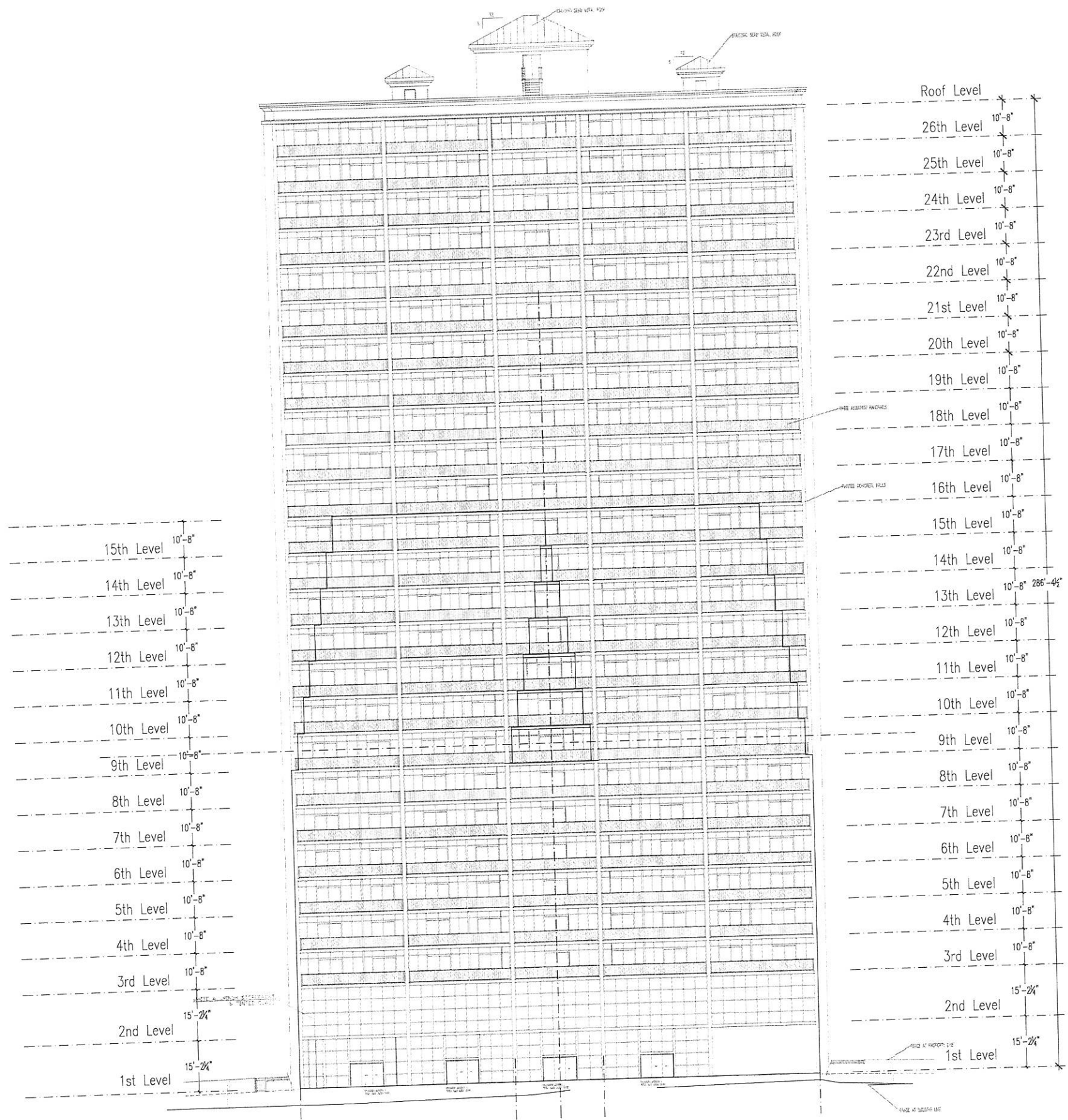
Seol PLANNERS

PROJECT: 2017-004  
DATE: 03/09/17  
DWG: JMS



PHOENIX ORANGE BEACH II  
MAXIMUM DENSITY FLOOR PLAN  
John M. Senkarik, A.I.A.  
and Associates  
www.senkarik-architect.com  
1156 Naples Drive  
Pensacola, FL 32507  
(904)344-5551

ARCHITECTS  
SHEET MD-101  
of:



MAXIMUM DENSITY SOUTH ELEVATION  
SCALE 1/16" = 1'-0"

REVISIONS

1. 10-21-15 Revision Notes

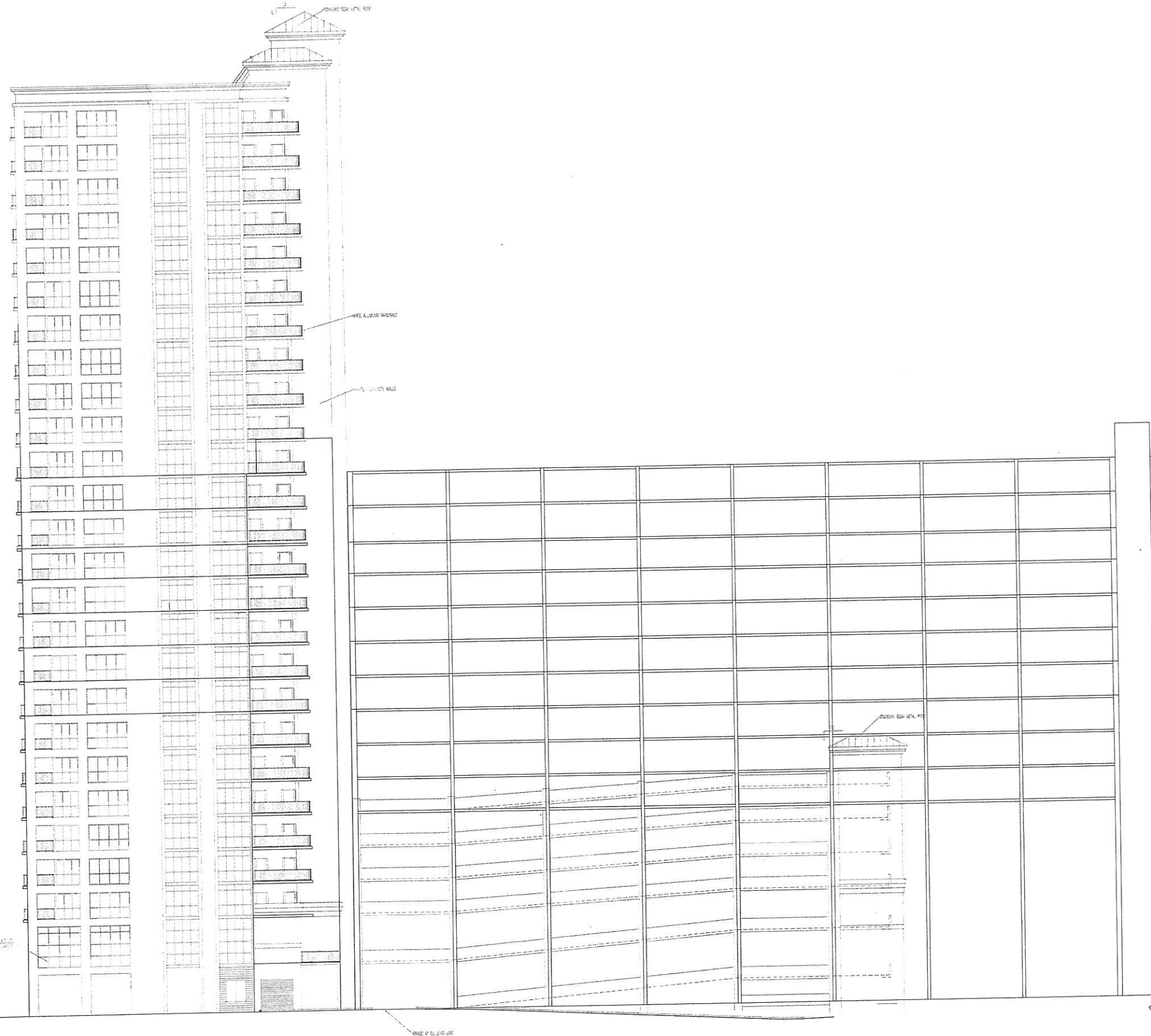
JOHN M. SENKARIK, A.I.A. AND ASSOCIATES  
Architects  
1156 Naples Drive  
Pensacola, FL 32507  
(850) 434-5551  
Florida Reg. No. AR0005571  
Professional Seal, No. 1917

**PHOENIX ORANGE BEACH II**  
**MAXIMUM DENSITY SOUTH ELEVATION**  
John M. Senkarik, A.I.A.  
and Associates  
www.senkarik-architect.com  
1156 Naples Drive  
Pensacola, FL 32507  
(850) 434-5551

ARCHITECTS  
SHEET MD-103  
of:  
Seal PLANNERS  
PROJECT: 2017-204  
DATE: 03/09/17  
DWG: JMS

- Roof Level at Roof Drains
- 10'-8" 26th Level
  - 10'-8" 25th Level
  - 10'-8" 24th Level
  - 10'-8" 23rd Level
  - 10'-8" 22nd Level
  - 10'-8" 21st Level
  - 10'-8" 20th Level
  - 10'-8" 19th Level
  - 10'-8" 18th Level
  - 10'-8" 17th Level
  - 10'-8" 16th Level
  - 10'-8" 15th Level
  - 10'-8" 14th Level
  - 28'-4 1/2" 10'-8" 13th Level
  - 10'-8" 12th Level
  - 10'-8" 11th Level
  - 10'-8" 10th Level
  - 10'-8" 9th Level
  - 10'-8" 8th Level
  - 10'-8" 7th Level
  - 10'-8" 6th Level
  - 10'-8" 5th Level
  - 10'-8" 4th Level
  - 10'-8" 3rd Level
  - 15'-2 1/4" 2nd Level
  - 15'-2 1/4" 1st Level = 18'-0"

0 elevation



MAXIMUM DENSITY EAST ELEVATION  
SCALE 1/16" = 1'-0"

# REVISIONS

1. 10-21-15 Revision Notes

JOHN M. SENKARIK, AIA AND ASSOCIATES  
Architects  
1156 Holmes Drive  
Pensacola, FL 32507  
(850) 434-5551

Project No. 100005571  
Autodesk Reg. No. 1912

See PLANNERS  
PROJECT: 2014-022  
DATE: 01/13/15  
DWN: JMS

ARCHITECTS  
SHEET: MD-104  
of:

PHOENIX GULF SHORES  
MAXIMUM DENSITY EAST ELEVATION  
John M. Senkarik, AIA  
and Associates  
E-mail: jmsenkarik@senkarik-architect.com  
1156 Holmes Drive  
Pensacola, FL 32507  
(850) 434-5551



0702-PUD-17  
*file copy*

# ORANGE BEACH ZONING ORDINANCE COMPLIANCE

## ARTICLE 3:

PROPERTY IS ZONED BR-2 BEACH RESORT DISTRICT (HIGH DENSITY)  
 BRD BEACH OVERLAY DISTRICT

## ARTICLE 4:

TABLE 4.01 MULTI-FAMILY & HOTEL - HOTEL PERMITTED BY RIGHT

REQUIRED				ACTUAL			
TABLE 4.02	MIN. LOT AREA	MIN. LOT WIDTH	MAX. LOT COVERAGE	LOT AREA	LOT WIDTH	LOT COVERAGE	
BR-2	25,000 S.F.	100'	56%	209,088 S.F.	200'-11"	17.5%	
TABLE 4.03	FRONT YARD	REAR YARD	SIDE YARD	FRONT	REAR	SIDE	
BR-2-BED	25'	20'	20'	44'-5" WEST 108'-0" EAST	85'-4" MIN	20'-2" WEST 20'-2" EAST	
TABLE 4.04	MAX. HEIGHT	UNITS/ACRE		HEIGHT		UNITS/ACRE	
BR-2-BED	20 FLOORS	42		24 LIVING FLOORS 2 COMMON		25.02	
TABLE 4.05	NO BUFFER REQUIRED						
BR-2							

## BUILDING AREAS

GROSS BUILDING AREA	562,017 s. f.
TOTAL IMPERVIOUS SURFACE AREA	67,854 s. f.
TOTAL BUILDING AREA	37,725 s. f.
TOTAL VEHICULAR USE AREA	10,804 s. f.
TOTAL POOL-PATIO USE AREA	19,325 s. f.

## ARTICLE 8:

PARKING		303 CARS
24-2 BEDROOM UNITS @ 2 CARS EACH = 48		
48-3 BEDROOM UNITS @ 2 CARS EACH = 96		
48-4 BEDROOM UNITS @ 3 CARS EACH = 144		
1 GUEST CAR FOR EVERY 5 UNITS = 24		
REQUIRED = 312		

## ARTICLE 16:

LANDSCAPING	TOTAL	TOTAL
1.009 ACRES	228	228 ACRES
87,525 S.F.	(17,505 S.F.)	(17,860 S.F.)

# PHOENIX ORANGE BEACH II

A 120 UNIT CONDOMINIUM DEVELOPMENT

**BRETT / ROBINSON**

ORANGE BEACH, ALABAMA

ARCHITECT:

**JOHN M. SENKARIK, AIA CSI**

ENGINEERS:

JOE DEREUIL ASSOCIATES, LLC. - STRUCTURAL  
 H. M. YONGE & ASSOCIATES - MECHANICAL ELECTRICAL  
 SPEAKS & ASSOCIATES - CIVIL

## DRAWING INDEX

### CIVIL

### LANDSCAPING

### ARCHITECTURAL

### ELECTRICAL

C-01 EXISTING SITE PLAN  
 C-02 GEOMETRIC SITE PLAN  
 C-03 GRADING SITE PLAN  
 C-04 DRAINAGE SITE PLAN  
 C-05 DRAINAGE DETAILS  
 C-06 UTILITY PLAN  
 C-07 LIFT STATION DETAILS  
 C-08 CROSS SECTIONS

LP-100 LANDSCAPE PLANTING PLAN  
 LP-500 LANDSCAPE DETAILS  
 LI-100 IRRIGATION PLAN  
 LI-500 IRRIGATION DETAILS

A-100 SITE PLAN  
 A-101A LEVEL 01 (GROUND) PLAN  
 A-101B LEVEL 01 (1st FLOOR) PLAN  
 A-102 LEVEL 02 (2nd FLOOR) PLAN  
 A-103 LEVEL 03 (3rd FLOOR) PLAN  
 A-104 LEVEL 04 (4th FLOOR) PLAN  
 A-105 LEVEL 05 (5th FLOOR) PLAN  
 A-106 LEVEL 06 (6th FLOOR) PLAN  
 A-107 LEVEL 07-26 (7th-27th FLOOR) PLAN  
 A-124 NORTH ELEVATION  
 A-125 SOUTH ELEVATION  
 A-126 EAST ELEVATION  
 A-127 WEST ELEVATION

E-001A LIGHTING PHOTOMETRICS  
 & DETAILS

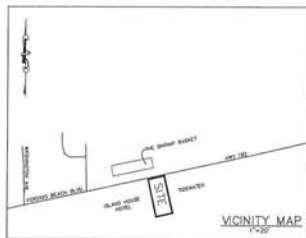


RECEIVED

JUN 27 2017

O.B. COMMUNITY DEV.

**SITE PLAN REVIEW**



- LEGEND**
- C&F  $\Delta$  - CAPPED IRON ROD FOUND
  - C&M  $\square$  - CONCRETE MONUMENT FOUND
  - C&T  $\circ$  - CRIMP TOP IRON FOUND
  - $\bullet$  - "X" MARK SET IN CONCRETE
  - C&S  $\bullet$  - CAPPED IRON ROD SET
  - - - - - POWER POLE
  - - - - - ELECTRICAL LIO
  - - - - - LIGHT POLE
  - - - - - POWER LINE
  - - - - - WATER LINE
  - - - - - TELEPHONE MARKER
  - - - - - TELEPHONE PEDESTAL
  - - - - - FIBER OPTIC MARKER
  - - - - - EXISTING FIBER OPTIC LINE
  - - - - - CABLE PEDESTAL
  - - - - - FIRE HYDRANT
  - - - - - WATER METER
  - - - - - SANITARY SEWER MANHOLE
  - - - - - WOODEN BOARD FENCE

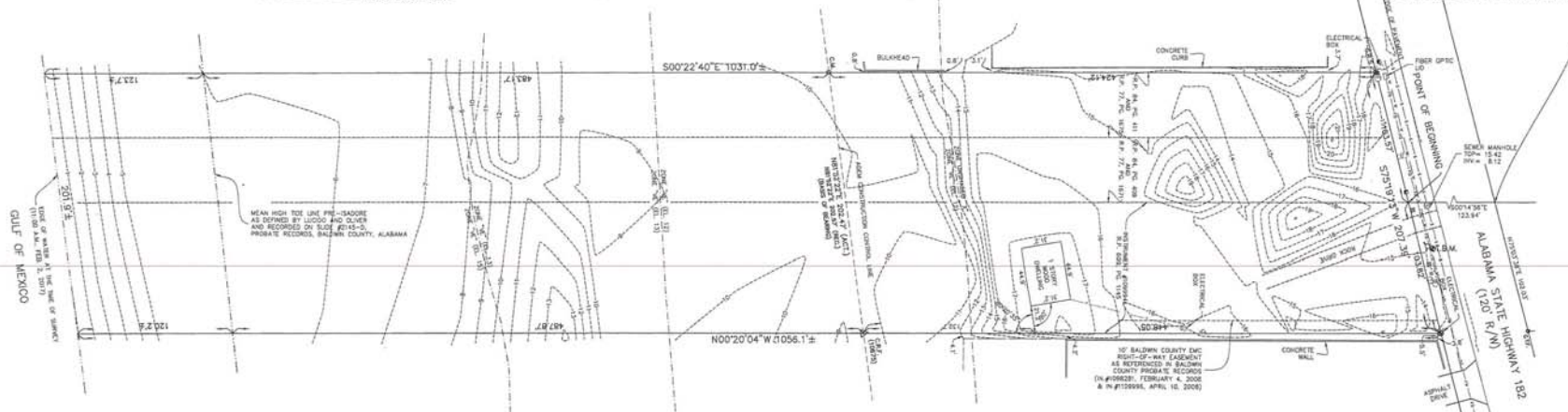
**NOTES OF SURVEY:**

1. MONUMENTS OF THE TYPE INDICATED, REPRESENTING PROPERTY CORNERS WERE RECOVERED UNLESS NOTED OTHERWISE.
2. TYPE OF SURVEY: TOPOGRAPHIC SURVEY
3. BASIS OF BEARINGS: BOUNDARY SURVEY TITLED "BENCHMARK" BY LUCADO ENGINEERING & SURVEYING, DATED AUGUST 2, 2016.
4. THIS DRAWING DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN RESEARCH PROVIDED BY THE CLIENT'S CONVEYANCE.
5. FLOOD ZONE LINE AS SHOWN WAS SCALED FROM THE FLOOD INSURANCE RATE MAP.
6. LAST DAY IN FIELD: 02/02/2017.

**BENCHMARK INFORMATION:**

VERTICAL - BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 NAVD 88  
T.S.M. - TOP OF FIRE HYDRANT  
ELEV. = 17.78

REVISIONS



**PROPERTY DESCRIPTION:**

STATE OF ALABAMA,  
COUNTY OF BALDWIN:

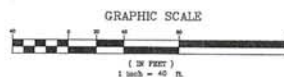
I, MIKELL D. SPEAKS, HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF GOVERNMENT LOT 6 (A.K.A. THE WEST LINE OF THE EAST 1/2 OF GOVERNMENT LOT 6) SECTION 9, TOWNSHIP 9 SOUTH, RANGE 5 EAST, BALDWIN COUNTY, ALABAMA, AND THE NORTH RIGHT-OF-WAY LINE OF ALABAMA STATE HIGHWAY 182 (A.K.A. PERDIDO BEACH BOULEVARD) [A 120 FOOT RIGHT-OF-WAY], THENCE RUN SOUTH 00°45'54\"/>

THAT THE BUILDINGS NOW ERRECTED ON SAID PROPERTY ARE WITHIN THE BOUNDARIES OF SAME, THAT THERE ARE NO ENCRUMBMENTS BY ADJOINING PROPERTY, EXCEPT AS SHOWN, THAT THERE ARE NO JOINT DRIVES, RIGHT-OF-WAY, OR EASEMENTS OVER OR ACROSS SAID PROPERTY VISIBLE ON THE SURFACE, EXCEPT AS SHOWN, THAT THERE ARE NO ELECTRIC OR TELEPHONE WIRES (EXCLUDING THE WIRES WHICH SERVE THE PREMISES ONLY) OR STRUCTURES OR SUPPORTS THERE OF INCLUDING POLES, ANCHORS AND GUY WIRES ON OR ACROSS SAID PREMISES, EXCEPT AS SHOWN.

I FURTHER CERTIFY THAT I HAVE CONSULTED THE FLOOD INSURANCE RATE MAP NO. D10030084 L, DATED JULY 17, 2007 AND FOUND THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD ZONE UNSHADED "X" AND ZONE "VE".

ACCORDING TO MY SURVEY THIS THE  
9TH DAY OF FEBRUARY, 2017

*Mikell D. Speaks*  
ALABAMA LICENSE NO. 9127



EXISTING SITE  
SCALE 1" = 40'

SPEAKS & ASSOCIATES  
CONSULTING ENGINEERS, INC.  
733 OAK CIRCLE DRIVE WEST  
MOBILE, ALABAMA 36689  
PHONE: (251) 944-1464 FAX: (251) 944-6444  
jds@speaksinc.com

ARCHITECT  
SHEET C-01  
PROJECT: 17-0903  
DATE: 06/20/17  
NO. 23782  
PROFESSIONAL  
STAMP  
ALABAMA  
J. M. SENKARIK  
PHOENIX ORANGE BEACH II  
EXISTING SITE PLAN  
John M. Senkarik, AIA  
and Associates  
11446 Tower Drive  
Pensacola, FL 32504  
(850) 437-5511

REVISIONS

06-21-17 REVISION DRIVE WORTH

10 20.00'

GEOMETRIC NOTES

1. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL LAYOUT DATA AND BUILDING DIMENSIONS.
2. WHERE DIMENSIONS ARE INDICATED TO CURB LINES, THEY REFERENCE THE INSIDE PAVEMENT FACE OF THE CURB.
3. THE JOINT LAYOUT IN SIDEWALKS SHALL BE AS GENERALLY INDICATED HEREON. THE LAYOUT OF ALL JOINTS IN CONCRETE SIDEWALKS SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO FORMING OR PLACING CONCRETE AND ANY CHANGES APPROVED.
4. ALL EXTERIOR CONCRETE SURFACES SHALL BE CLEANED BY HIGH PRESSURE WATER BLASTING, SAND BLASTING, OR OTHER APPROVED MEANS IMMEDIATELY PRIOR TO FINAL INSPECTION.
5. TRAFFIC STRIPING AND MARKINGS SHALL BE PAINT TYPE MATERIALS-REFLECTIVE. PARKING STRIPES SHALL BE WHITE AND HANDICAPPED STOPPING AND MARKINGS SHALL BE BLUE. STRIPING AND MARKINGS SHALL NOT BE PLACED FOR A MINIMUM OF 14 DAYS AFTER COMPLETION OF PAVING OPERATIONS ON SITE.

SPEED LIMIT  
45  
POSTED  
SPEED

ALABAMA  
REGISTERED  
NO. 23782  
PROFESSIONAL  
ENGINEER  
JAMES W. PARR

06/20/17

ALABAMA  
REGISTERED  
NO. 23782  
PROFESSIONAL  
ENGINEER  
JAMES W. PARR

See PLANS

PROJECT: 17-0003

PHN-1987

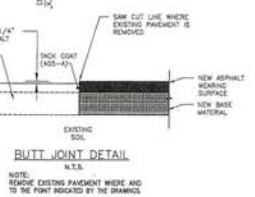
PHOENIX ORANGE BEACH II  
GEOMETRIC SITE PLAN  
John M. Senkarik, AIA.  
and Associates  
P.O. Box 1146 North Doxey  
Pensacola, FL 32502  
(904) 437-5501

SPEAKS & ASSOCIATES  
CONSULTING ENGINEERS, INC.  
735 GAY CIRCLE DRIVE WEST  
MORRIS, ALABAMA 36869  
Phone: (205) 444-1444 Fax: (205) 444-1444  
www.speaksinc.com

GEOMETRIC PLAN  
SCALE 1" = 20'

- NOTES: (SIDEWALK, CURB, AND CURB AND GUTTER)
1. EXPANSION JOINTS WITH SEALER SHALL ALSO BE PLACED AT JUNCTIONS WITH OTHER SIDEWALKS AND WHERE SIDEWALKS ARE ADJACENT TO BUILDINGS.
  2. EXPANSION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT.
  3. EXPANSION JOINT 3/4 INCH WIDE SHALL BE PLACED WHERE CURB AND/OR GUTTER TERMINATES AGAINST ROAD OBJECTS.
  4. EXPANSION JOINT FILLER AND SEALER SHALL MEET THE REQUIREMENTS OF ARTICLES 832.01 AND 832.02. EXPANSION JOINT FILLER SHALL EXTEND FROM THE BOTTOM OF THE CURB AND/OR GUTTER TO WITHIN ONE INCH OF THE TOP. THE SEALER SHALL BE 3/4" THICK AND SHALL BE RECESSED 1/4" FROM THE TOP.
  5. CONTRACTION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT, BUT IN NO INSTANCE MORE THAN 30 FEET BETWEEN JOINTS. THE CONTRACTION JOINTS SHALL BE SAWS OR OTHERWISE CUT 2" DEEP BY 1/8" WIDE AND SHALL EXTEND 2" BELOW THE PAVEMENT SURFACE.

SITE DATA TABLE	
ZONING	- B82
BUSINESS TYPE	- CONDOMINIUM
UNITS	- 120 (26 STORIES)
SQUARE FOOTAGE -	
87,556 S.F. - TOTAL LOT	
34,943 S.F. - BUILDING/POOL DECK	
35,638 S.F. - PARKING/DRIVE/SIDEWALK	
17,827 S.F. - GREEN SPACE	
808 IMPERVIOUS	
208 GREEN SPACE	

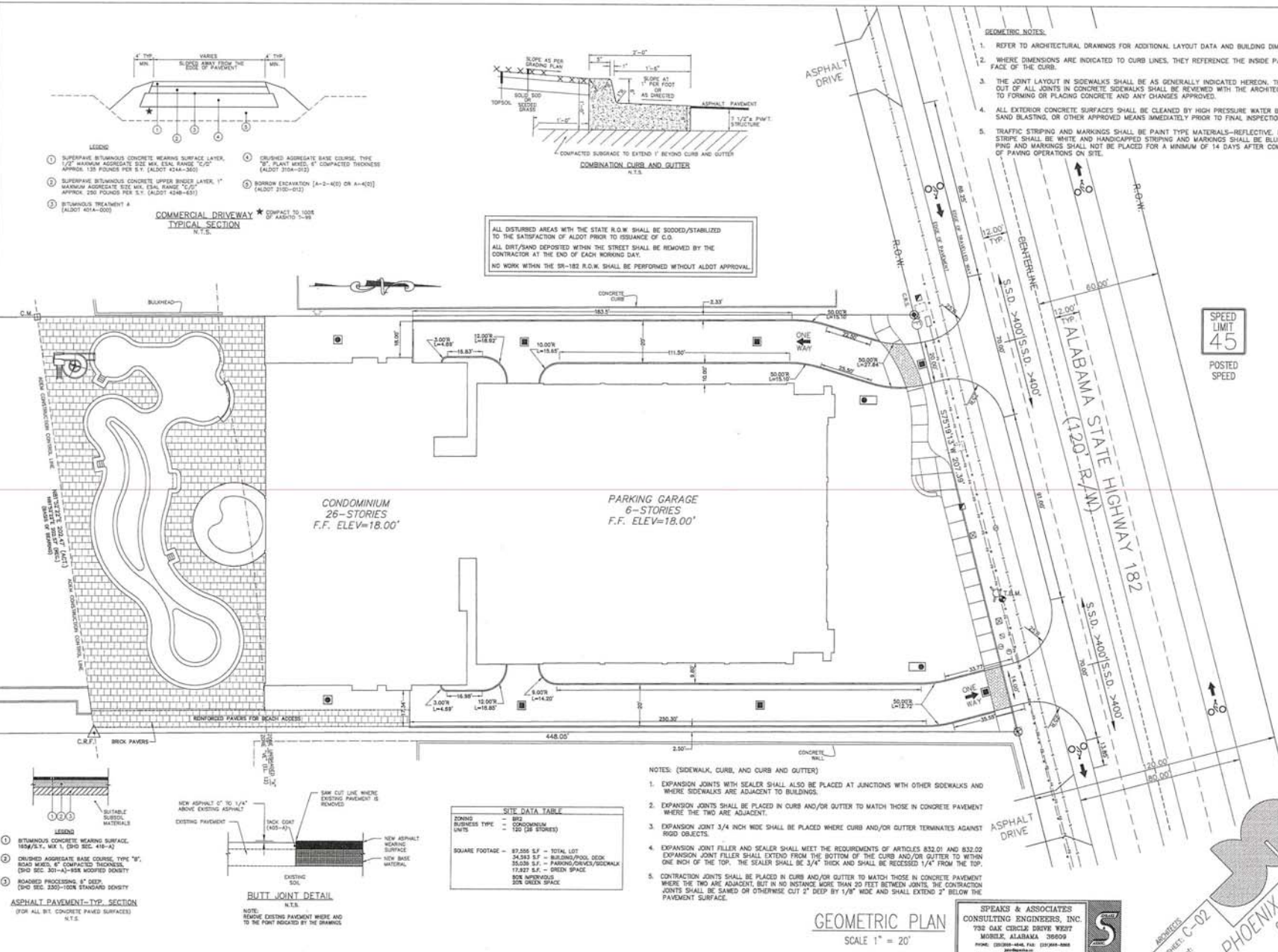
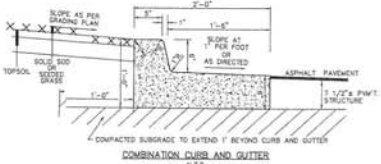


NOTE:  
REMOVE EXISTING PAVEMENT WHERE AND TO THE POINT INDICATED BY THE DRAWINGS.

COMMERCIAL DRIVEWAY  
TYPICAL SECTION  
N.T.S.

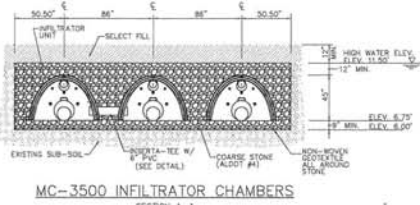
- LEGEND
1. SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, 1 1/2" MAXIMUM AGGREGATE SIZE MAX. ESAL RANGE "C/C" APPROX. 120 POUNDS PER S.Y. (ALDOT 424A-300)
  2. SUPERPAVE BITUMINOUS CONCRETE UPPER BINDER LAYER, 1" MAXIMUM AGGREGATE SIZE MAX. ESAL RANGE "C/C" APPROX. 120 POUNDS PER S.Y. (ALDOT 424B-450)
  3. BITUMINOUS TREATMENT A (ALDOT 401A-000)
  4. CRUSHED AGGREGATE BASE COURSE, TYPE "B", PLANT MIXED, 6" COMPACTED THICKNESS (ALDOT 310A-010)
  5. BORDON EXCAVATION (A-2-NOT OR A-4-NOT) (ALDOT 210-012)

ALL DISTURBED AREAS WITH THE STATE R.O.W. SHALL BE SOODED/STABILIZED TO THE SATISFACTION OF ALDOT PRIOR TO ISSUANCE OF C.O.  
ALL DIRT/SAND DEPOSITED WITHIN THE STREET SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY.  
NO WORK WITHIN THE SR-182 R.O.W. SHALL BE PERFORMED WITHOUT ALDOT APPROVAL.









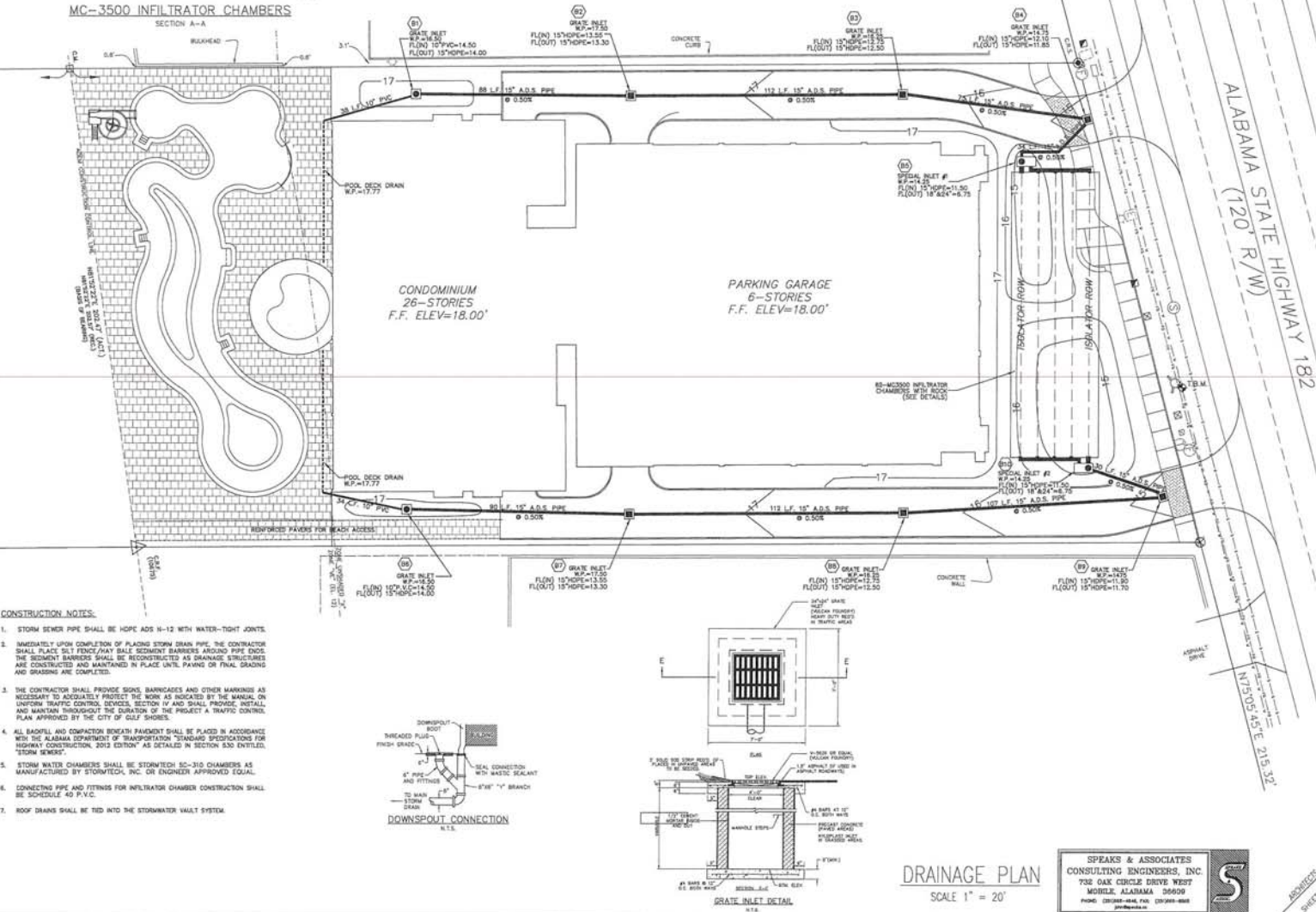
#### PLANNING COMMISSION NOTES:

1. ALL OFFSITE DRAINAGE RUNOFF CURRENTLY DRAINING ONTO THE SITE WILL BE COLLECTED AND ENTER THE PROPOSED DRAINAGE SYSTEM FOR THE DEVELOPMENT.
2. THE PROPOSED UNDERGROUND INFILTRATION SYSTEM SHALL COMPLY WITH THE CITY OF ORANGE BEACH STORMWATER MANAGEMENT REGULATIONS. THE RETENTION VOLUME SHALL BE STORED ABOVE THE ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION AS DETERMINED BY AN ALABAMA REGISTERED PROFESSIONAL ENGINEER AND DOCUMENTED IN A GEOTECHNICAL REPORT.
3. ALL ENCLOSED AREAS BELOW THE BASE FLOOD ELEVATION MUST BE A MINIMUM OF ONE (1) FOOT ABOVE THE CENTERLINE ELEVATION OF PERDIDO BEACH BOULEVARD (SH-192).

#### LEGEND

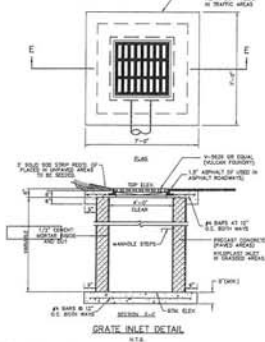
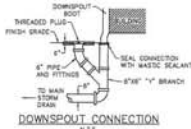
- 15' PROPOSED CONTOUR
- 15' EXISTING CONTOUR
- 15' TOP OF CURB
- 15' TOP OF ASPHALT (BOTTOM OF CURB)

NOTE:  
UPON COMPLETION OF THE PROJECT AND VERIFICATION OF COMPLETION BY THE ENGINEER, REGULAR MAINTENANCE OF THE STORM WATER DETENTION FACILITIES FOR THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.



#### CONSTRUCTION NOTES:

1. STORM SEWER PIPE SHALL BE HOPE ADS H-12 WITH WATER-TIGHT JOINTS.
2. IMMEDIATELY UPON COMPLETION OF PLACING STORM DRAIN PIPE, THE CONTRACTOR SHALL PLACE 18" POLYETHYLENE BARRIER AND/OR PIPE ENDS. THE BARRIER SHALL BE RECONSTRUCTED AS DRAINAGE STRUCTURES ARE CONSTRUCTED AND MAINTAINED IN PLACE UNTIL PAVING OR FINAL GRADING AND GRASSING ARE COMPLETED.
3. THE CONTRACTOR SHALL PROVIDE SIGNS, BARRICADES AND OTHER MARKINGS AS NECESSARY TO ADEQUATELY PROTECT THE WORK AS INDICATED BY THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SECTION IV AND SHALL PROVIDE, INSTALL, AND MAINTAIN THROUGHOUT THE DURATION OF THE PROJECT A TRAFFIC CONTROL PLAN APPROVED BY THE CITY OF GULF SHORES.
4. ALL BACKFILL AND COMPACTION BENEATH PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE ALABAMA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2013 EDITION" AS DETAILED IN SECTION 530 ENTITLED, "STORM SEWER".
5. STORM WATER CHAMBERS SHALL BE STORMTECH SC-310 CHAMBERS AS MANUFACTURED BY STORMTECH, INC. OR ENGINEER APPROVED EQUAL.
6. CONNECTING PIPE AND FITTINGS FOR INFILTRATOR CHAMBER SYSTEM SHALL BE SCHEDULE 40 P.V.C.
7. ROOF DRAINS SHALL BE TIED INTO THE STORMWATER VAULT SYSTEM.



DRAINAGE PLAN  
SCALE 1" = 20'

SPEAKS & ASSOCIATES  
CONSULTING ENGINEERS, INC.  
732 OAK CIRCLE DRIVE WEST  
MOBILE, ALABAMA 36609  
Phone: (904) 444-4444 Fax: (904) 444-4444  
speaks@speaks.com

REVISIONS  
06-20-17 REVISION DRAINAGE WIDTH TO 20.00'

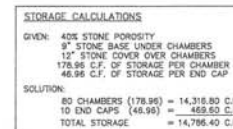
ALABAMA REGISTERED PROFESSIONAL ENGINEER  
NO. 23792  
PAULINE W. HARRIS  
PAULINE W. HARRIS

06/21/17  
ALABAMA REGISTERED PROFESSIONAL ENGINEER  
NO. 23792  
PAULINE W. HARRIS  
PAULINE W. HARRIS

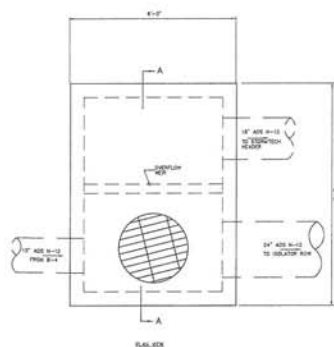
5600 PLAINFIELD  
PROJECT 17-0903  
DWG. 3007

PHOENIX ORANGE BEACH II  
DRAINAGE SITE PLAN  
John M. Senkarik, AIA  
and Associates  
1156 North Drive  
Pensacola, FL 32503  
(904) 437-5501

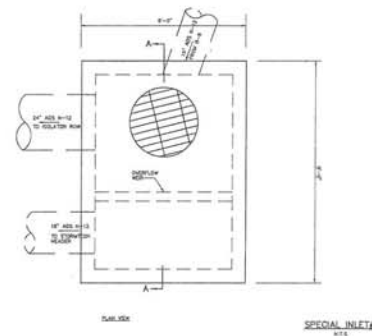
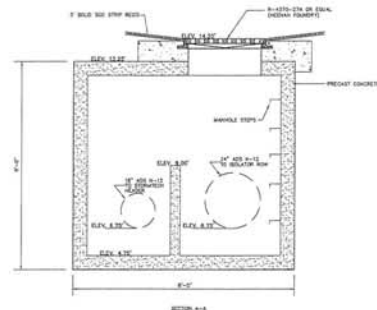




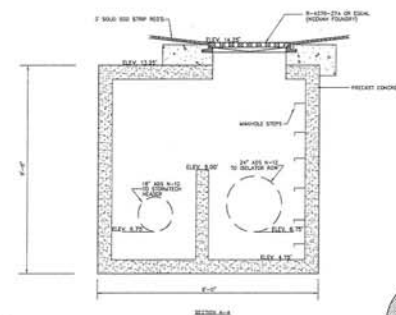
## REVISIONS



SPECIAL INLET#1



SPECIAL INLET#2  
KTS



DRAINAGE DETAILS  
N.T.S.

**SPEAKS & ASSOCIATES**  
CONSULTING ENGINEERS, INC.  
732 OAK CIRCLE DRIVE WEST  
MOBILE, ALABAMA 36609  
Phone: (205) 686-4444 Fax: (205) 686-4444



ARCHITECTS  
SHEET: C-05

**PHOENIX ORANGE BEACH**  
GRADING SITE PLAN  
John M. Senkerik, AIA  
and Associates  
e-mail: jmsenkerik@aia.com  
1501 N. Hollywood Blvd.  
Ft. Lauderdale, FL 33304  
(800) 241-5500



# UTILITY NOTES:

1. WATER AND SEWER SERVICE LINES AS INDICATED HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH ANY AND ALL APPLICABLE PORTIONS OF THE CITY OF ORANGE BEACH STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER AND SEWER LINES AND IN ACCORDANCE WITH THE STANDARD PLUMBING CODE AS INTERPRETED BY THE CITY OF ORANGE BEACH BUILDING INSPECTION DEPARTMENT.
2. WATER AND SEWER SERVICE INSTALLATION FEES SHALL BE PAID BY THE OWNER.
3. EXACT ROUGH-IN REQUIREMENTS FOR THE POTABLE WATER SERVICE AND FIRE SERVICE SHALL BE VERIFIED WITH THE CITY OF ORANGE BEACH PRIOR TO STARTING CONSTRUCTION OF THAT WORK OR OTHER RELATED ITEMS.
4. WATER PIPE SHALL BE SDR 21 P.V.C. FOR POTABLE AND FIRE WATER LINES. UNDER UNDER PAVED AREAS AND AT HYDRANT RINGS, WATER PIPE SHALL BE CLASS 51 DUCTILE IRON. ALL FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON WITH RESTRAINED JOINT TYPE FITTINGS FOR P.V.C. OR DUCTILE IRON PIPE AS APPLICABLE. TYPE FITTINGS FOR P.V.C. OR DUCTILE IRON PIPE ARE APPLICABLE.
5. SANITARY SEWER PIPE SHALL BE S.D.R. 35 P.V.C. FITTINGS SHALL BE DUCTILE IRON.
6. WORK OF CONNECTING TO THE EXISTING WATER AND SEWER LINES SHALL BE COORDINATED CLOSELY WITH GULF SHORES UTILITIES AND SHALL BE COMPLETED IN SUCH A WAY AS TO CAUSE AS LITTLE DISRUPTION IN SERVICE TO EXISTING CUSTOMERS AS POSSIBLE.
7. PLACE METALLIC DETECTOR TAPE FOR ALL NON-METALLIC UTILITY LINES.
8. THE CONTRACTOR SHALL PROVIDE SIGNS, BARRICADES AND OTHER MARKINGS AS NECESSARY TO ADEQUATELY PROTECT THE WORK AS INDICATED BY THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SECTION IV" AND SHALL PROVIDE, INSTALL, AND MAINTAIN THROUGHOUT THE DURATION OF THE PROJECT A TRAFFIC CONTROL PLAN APPROVED BY THE CITY OF ORANGE BEACH.
9. ALL BACKFILL AND COMPACTION OF UTILITY TRENCHES BENEATH PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE ALABAMA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION" AS DETAILED IN SECTION 530 ENTITLED, "STORM SEWERS". TRENCHES SHALL BE BACKFILLED WITH A CLEAN GRANULAR MATERIAL WITH LESS THAN 15 PERCENT PASSING THE NO. 200 SIEVE.
10. PLACEMENT OF WATER SERVICE AND SANITARY SEWER LINES SHALL BE CAREFULLY COORDINATED WITH OTHER UTILITY CONTRACTORS.
11. CONTRACTOR TO COORDINATE LOCATION OF FIRE HYDRANT AND FDC. SEPARATION NOT TO EXCEED 100 FEET.



UTILITY LINE INSTALLATION  
(UNPAVED AREAS)  
N.T.S.

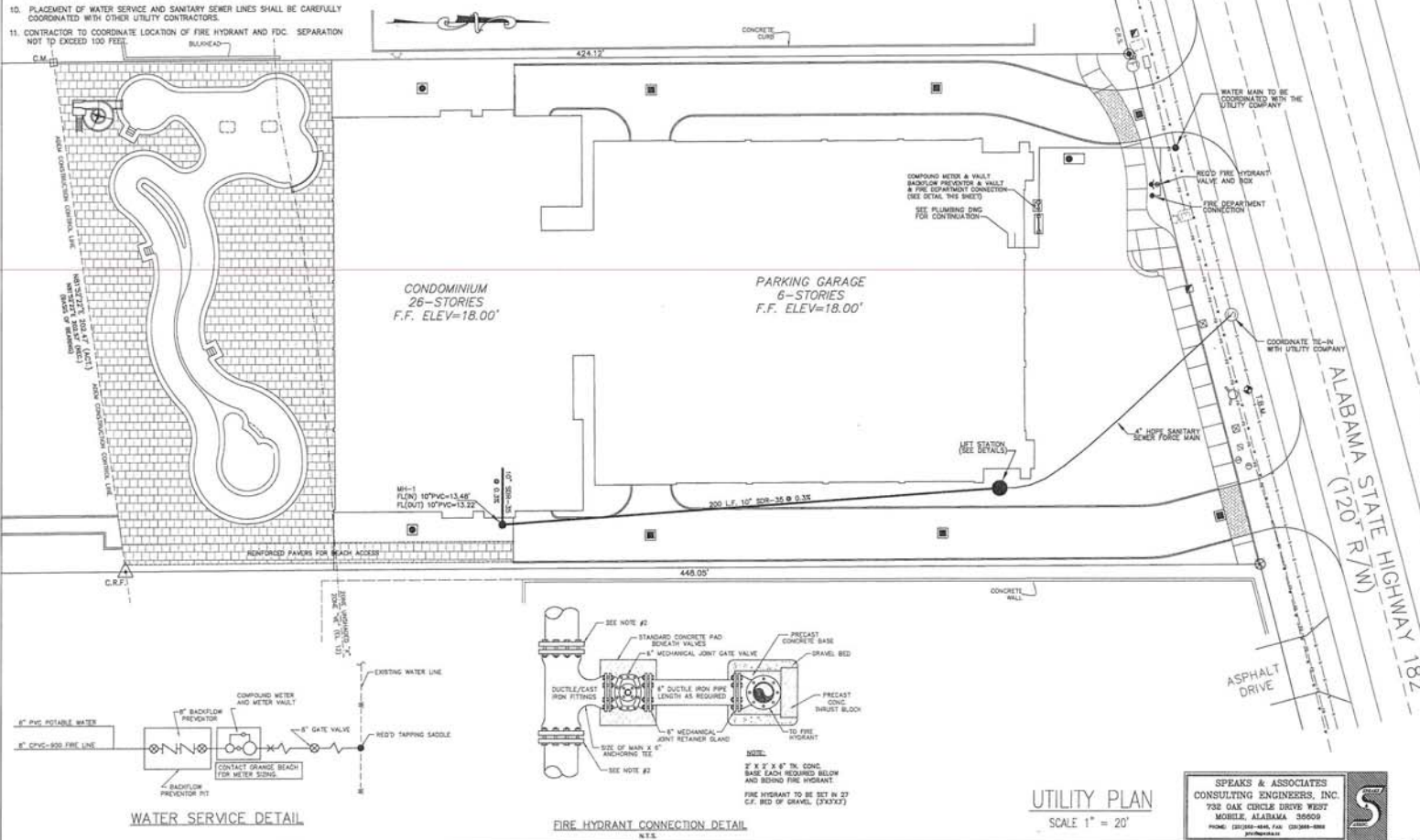
UTILITY LINE INSTALLATION  
(PAVED AREAS)  
N.T.S.

\* BASE:  
MACHINE TRENCHING WILL BE ALLOWED, HOWEVER, SUFFICIENT CLEAR DISTANCE WILL BE REQUIRED SUCH THAT THE PIPE RESTS ON TRENCH BOTTOM AT ALL LOCATIONS.  
THIS REQUIREMENT WILL BE STRICTLY ENFORCED.

ALL DISTURBED AREAS WITHIN THE STATE R.O.W. SHALL BE SOLODDED/STABILIZED TO THE SATISFACTION OF ALDOT PRIOR TO ISSUANCE OF C.D.  
ALL DIRT/SAND DEPOSITED WITHIN THE STREET SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY.  
NO WORK WITHIN THE SR-182 R.O.W. SHALL BE PERFORMED WITH ALDOT APPROVAL.

## REVISIONS

08-20-17 REVISION DRIVE WITH TO 20.00' MOVED FIRE HYDRANT AND FDC



WATER SERVICE DETAIL

FIRE HYDRANT CONNECTION DETAIL  
N.T.S.

UTILITY PLAN  
SCALE 1" = 20'

SPEAKS & ASSOCIATES  
CONSULTING ENGINEERS, INC.  
730 OAK CIRCLE DRIVE WEST  
MOBILE, ALABAMA 36689  
Phone: (205) 666-4444 Fax: (205) 666-4444  
speaks@speaks.com

ARCHITECTS  
SHEET C-06  
DATE

PHOENIX ORANGE BEACH II  
GEOMETRIC SITE PLAN  
John M. Semkork, AIA  
and Associates  
1150 North Orange Avenue  
Phoenix, AZ 85004  
(602) 442-1001

06/20/17  
ALABAMA  
REGISTERED  
PROFESSIONAL  
ENGINEER  
NO. 23702  
JAMES S. PARKS

SEAL  
PLANNERS  
PROJECT: 17-0103  
DRAWN: JMB



### PANEL DETAILS



REQUIRED SOLIDS HANDLING PUMP DATA:	
PUMPING REQUIREMENTS:	300 GPM @ 123 FEET TDH
EFFICIENCY:	60% MIN.
MAX. SPEED:	3450 RPM
MOTOR DATA:	25 HP, 3 PH., 480 V.

CONSTRUCTION NOTES:

- [illegible]

### STATION ELECTRICAL DETAILS

### LIFT STATION DETAILS

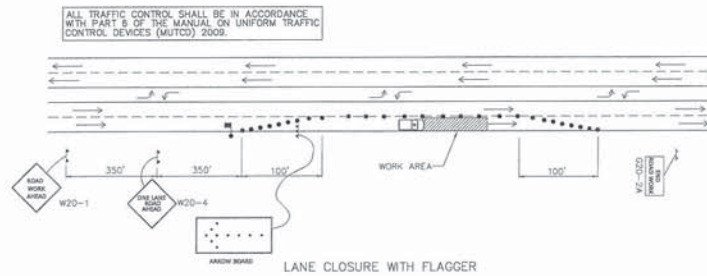
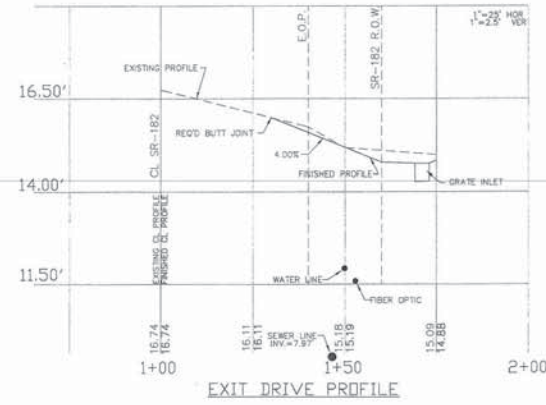
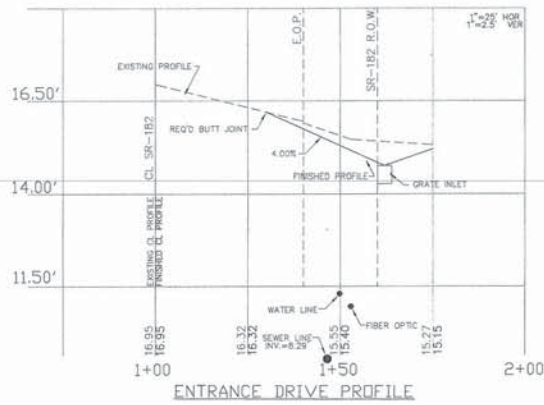
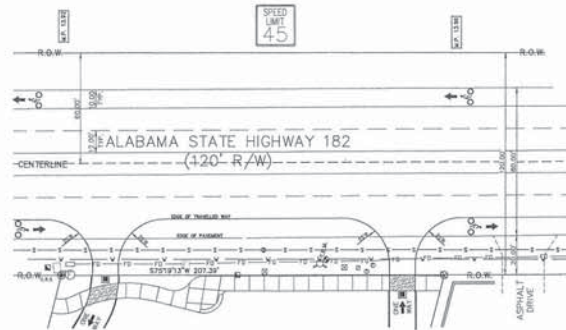
SCALE: AS NOTED

**SPEAKS & ASSOCIATES**  
**CONSULTING ENGINEERS, INC.**  
732 OAK CIRCLE DRIVE WEST  
MOBILE, ALABAMA 36609  
PHONE: (205) 838-4444, FAX: (205) 838-4444

**S**

**3**  
**PHOENIX ORANGE BEACH**  
**LIFT STATION, A.L.A.**  
**John M. Senkarik, A.A.**  
**and Associates**  
1166 North Olive  
Phoenix, AZ 85016  
Tel: 602/544-1100

REVISIONS



X-SECTIONS

SPEAKS & ASSOCIATES  
CONSULTING ENGINEERS, INC.  
732 OAK CIRCLE DRIVE WEST  
MOBILE, ALABAMA 36609  
PHONE: (251) 944-4444 FAX: (251) 944-4888  
j@speaks.com

PROJECTS  
SHEET C-08  
OF

PHOENIX ORANGE BEACH II  
CROSS-SECTIONS  
John M. Senkank, A.I.A.  
and Associates  
1118 North Gate  
Pensacola, FL 32507  
(904) 444-5551

06/15/17



Seal FARMERS  
PROJECT 98005  
DWG: JAS



NOTE:  
MAINLINE AND VALVES SHOWN OUTSIDE OF TRENCH  
FOR GRAPHIC CLARITY. ALL EQUIPMENT AND PIPE  
SHALL BE WITHIN PROPERTY BOUNDARIES UNLESS  
OTHERWISE NOTED. SLEAVE SIZES TO BE  
DETERMINED BY CONTRACTOR.



**WDesign**  
WATKINS • ADY • STALKER  
Landscape Architecture • Civil Engineering • Urban Planning  
2345 West South Street, Suite 100, Orange Beach, AL 36554  
Phone: 251.934.1234 • Fax: 251.934.1235  
www.wdesign.com

NOT FOR CONSTRUCTION  
THESE PLANS HAVE NOT BEEN APPROVED  
BY THE GOVERNING AGENCY  
AND ARE SUBJECT TO CHANGE.

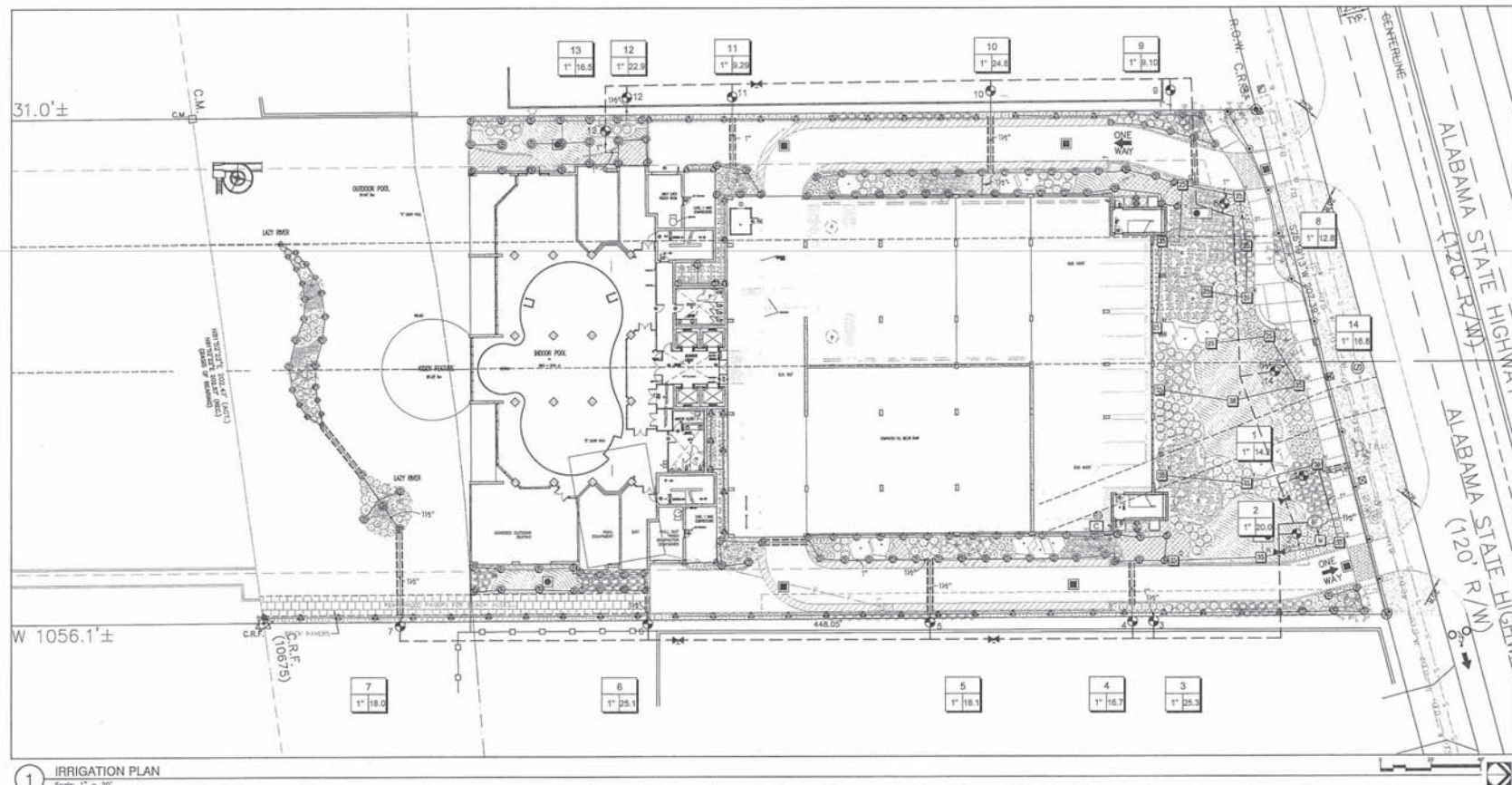
A Landscape Development Plan for  
*Phoenix Orange Beach II*  
Orange Beach, Alabama

Rev.	Date	Revisions / Submissions
01	05.12.17	FOR CITY REVIEW
02	05.18.17	FOR CITY REVIEW
03	06.02.17	FOR CITY REVIEW
04	06.02.17	FOR CITY REVIEW

DCT: [Signature]  
 SDR: [Signature]  
 LCM: [Signature]  
 Checked: [Signature]  
 Project No: 173214-002  
 Date: 06.05.17  
 State: AL  
 Registration: [Seal]  
 License No: 518

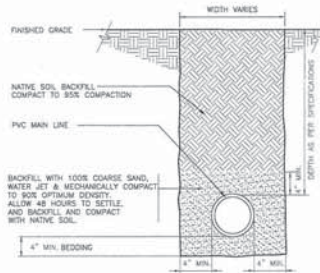
IRRIGATION PLAN

Sheet No. LI100



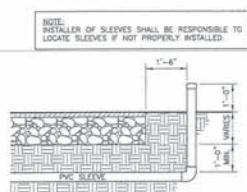
1 IRRIGATION PLAN  
Scale: 1" = 20'

1. ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER (CLASS 200 PVC PIPE).
2. ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER (CLASS 200 PVC PIPE).
3. NO ROCKS, BOULDER, OR OTHER EXTRANEUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
4. ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
5. ALL THREADED JOINTS TO BE COATED WITH TUFLOX TAPE OR LIQUID TUFLOX.
6. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
7. SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
8. ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
9. ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
10. NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
11. ANY DISCREPANCY BETWEEN THIS SHEET AND CHANGES IN THIS SET MUST BE REFERRED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
12. ALL 24 VOLT WIRE SHALL BE #12 UF/F FOR COMMON WIRE, AND #14 UF/F FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER.
13. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED, I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO OBSTACLE BY EXISTING OR PROPOSED SITE FEATURES.
14. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
15. CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (NEAR AROUND 3/4" PIPE 12 TIMES).
16. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
17. CONTRACTOR SHALL UTILIZE VALVE L.B. TAPS ON ALL REMOTE CONTROL VALVES.
18. 24 VOLT WIRE SHALL BE COLOR CODED, COMMON-WHITE, CONTROL-RED.
19. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED PROTECTIVE EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH (2) 3/4" COPPER CLAD GROUND RODS.
20. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
21. ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER.
  - A. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLING.
  - B. TWO QUICK COUPLER KEYS WITH WATKINS HOSE BRIGGS.
  - C. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLING.
22. SYSTEM IS DIAGNOSTIC TO IMPROVE CLARITY. ALL WATKINS PIPING ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONFLICT WITH PLANT MATERIALS EXISTING OR NEW.
23. CONTRACTOR TO ADD EXTENSION REFER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
24. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALK.
25. PRIOR TO BIG IRRIGATOR CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFILL REQUIREMENTS. NO LATER THAN FIVE DAYS BEFORE BIG SUBMITTALS. CONTRACTOR SHALL NOTIFY CONSULTANT OF ANY CHANGES FROM PLANS AND SPECIFICATIONS.
26. IRRIGATOR CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH A REPRODUCIBLE CROSS MEASURED AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM IN AUTOCAD 2000 FORMAT BEFORE FINAL ACCEPTANCE.
27. A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED. START UP AND ADJUSTING OF SYSTEM IN SPRING TIME SHALL BE INCLUDED IN WARRANTY.

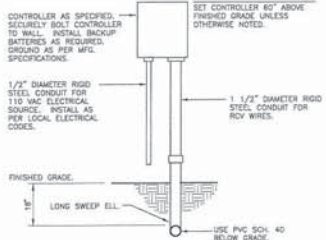


8 SLEEVE AT ROAD  
1 1/2" = 1'-0"  
FX-R-FX-AUX02-15

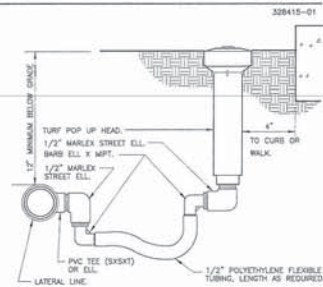
7 GENERAL IRRIGATION NOTES  
1" = 1'-0"



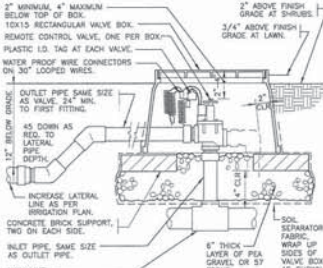
4 SLEEVING DETAIL  
1/2" = 1'-0"



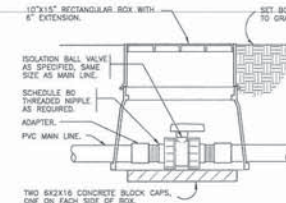
1 WALL MOUNT CONTROLLER  
1" = 12"



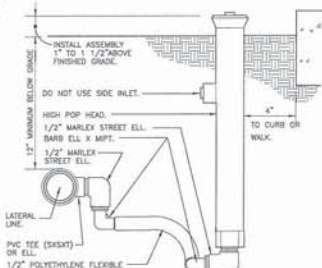
5 TURF SPRAY FLEX ASSEMBLY  
3" = 12"



2 ELECTRIC REMOTE CONTROL VALVE  
1 1/2" = 12"



6 TRUE UNION BALL ISOLATION VALVE  
1 1/2" = 12"



3 SHRUB SPRAY HIGHPOP W/ FLEX ASSEMBLY  
3" = 12"

## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI		
	Rain Bird 1800-SAM-PRS 15 Step Series Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	55	30		
	Rain Bird 1800-SAM-PRS 5 Series MPF Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	16	30		
	Rain Bird 1800-SAM-PRS 8 Series MPF Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	9	30		
	Rain Bird 1800-SAM-PRS 10 Series MPF Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	82	30		
	Rain Bird 1800-SAM-PRS 12 Series MPF Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	45	30		
	Rain Bird 1800-SAM-PRS 13 Series MPF Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	5	30		
	Rain Bird RVANR 1804-SAM-PAS Turf Rotator, 13-18" Hand Adjustable Rotary Streamer, w/1800 turf spray body, 4.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	12	35		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
	Rain Bird 500S-PL-SAM-R-PC-FC-MPR Shrub rotor, 6.0" Pop-Up, Plastic Riser, with Flow Shut-Off Device. Matched Precipitation Rotor (MPR) Nozzle, Arc and Radius as per Symbol. 25 ft. range, 30 ft. range, 30 ft. range. With Seal-A-Matic Check Valve, and in-stem Pressure Regulator.	8	35		24"
	Rain Bird 500S-PL-SAM-R-PC-FC-MPR Shrub rotor, 6.0" Pop-Up, Plastic Riser, with Flow Shut-Off Device. Matched Precipitation Rotor (MPR) Nozzle, Arc and Radius as per Symbol. 25 ft. range, 30 ft. range, 30 ft. range. With Seal-A-Matic Check Valve, and in-stem Pressure Regulator.	1	35	30	
	Rain Bird 500S-PL-SAM-R-PC-FC-MPR Shrub rotor, 6.0" Pop-Up, Plastic Riser, with Flow Shut-Off Device. Matched Precipitation Rotor (MPR) Nozzle, Arc and Radius as per Symbol. 25 ft. range, 30 ft. range, 30 ft. range. With Seal-A-Matic Check Valve, and in-stem Pressure Regulator.	9	35		34"
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY			
	Rain Bird PEB 1 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capacity, Globe Configuration.	14			
	Fetco 785 1-1/4 PVC Valve Body Valve for Soil 45 and 80 PSI, solvent slip joints with "T" Hands, same size as mainline. 1/2" to 4".	5			
	Fetco 785 1-1/4 Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1			
	Rain Bird ESPRAME with (3) ESP-SM3 13 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1			
	Rain Bird RES-CEA Rain Sensing Device, conduit mount. With threaded adapter, extension wire.	1			
	Water Meter 1 Design Criteria: 37.5 GPM @ 50 PSI; Contractor to verify.	1			
	Irrigation Lateral Line PVC Class 200 BDR 21 1 Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	3,021 L.F.			
	Irrigation Lateral Line PVC Class 200 BDR 21 1 1/2 Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	149.4 L.F.			
	Irrigation Mainline PVC Class 200 BDR 21 1 1/2 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeve material. Extend sleeves 18 inches beyond edges of paving or construction.	548.6 L.F.			
	Irrigation Mainline PVC Class 200 BDR 21 1 1/2 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeve material. Extend sleeves 18 inches beyond edges of paving or construction.	180.4 L.F.			
	Note: Check				
	Hole Number				
	Hole Size				

## QUANTITY TAKEOFF DISCLAIMER:

QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.



NOT FOR CONSTRUCTION  
THESE PLANS HAVE NOT BEEN APPROVED  
BY THE GOVERNING AGENCY  
AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
*Phoenix Orange Beach II*  
Orange Beach, Alabama

Revised	Date	Revisions / Submissions
05.12.17	05.12.17	FOR CITY REVIEW
05.16.17	05.16.17	FOR CITY REVIEW
05.22.17	05.22.17	FOR CITY REVIEW



IRRIGATION  
DETAILS

LI500



ALL PLANTING BEDS, EXCEPT THOSE INSIDE THE PROPOSED POOL ISLANDS SHALL BE TOP DRESSED WITH CLEAN BEACH SAND AT A DEPTH OF 2" AFTER PLANTS ARE INSTALLED IN ACCORDANCE WITH BEACH MOUSE REQUIREMENTS. POOL ISLANDS SHALL BE MULCHED AS NOTED.

**Wdesign**  
WATKINS • ACY • STRUNK  
landscape architecture • land planning • planning

100 W. Adams Street, Suite 200, Chicago, IL 60606  
Telephone: (312) 442-7581 Fax: (312) 442-0111  
www.wdesign.com

**NOT FOR CONSTRUCTION**  
THESE PLANS HAVE NOT BEEN APPROVED  
BY THE GOVERNING AGENCY  
AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
*Phoenix Orange Beach II*  
Orange Beach, Alabama

Revisions		
No.	Date	Revisions / Submissions
	05.12.17	FOR CITY REVIEW
	05.16.17	FOR CITY REVIEW
	06.02.17	FOR CITY REVIEW

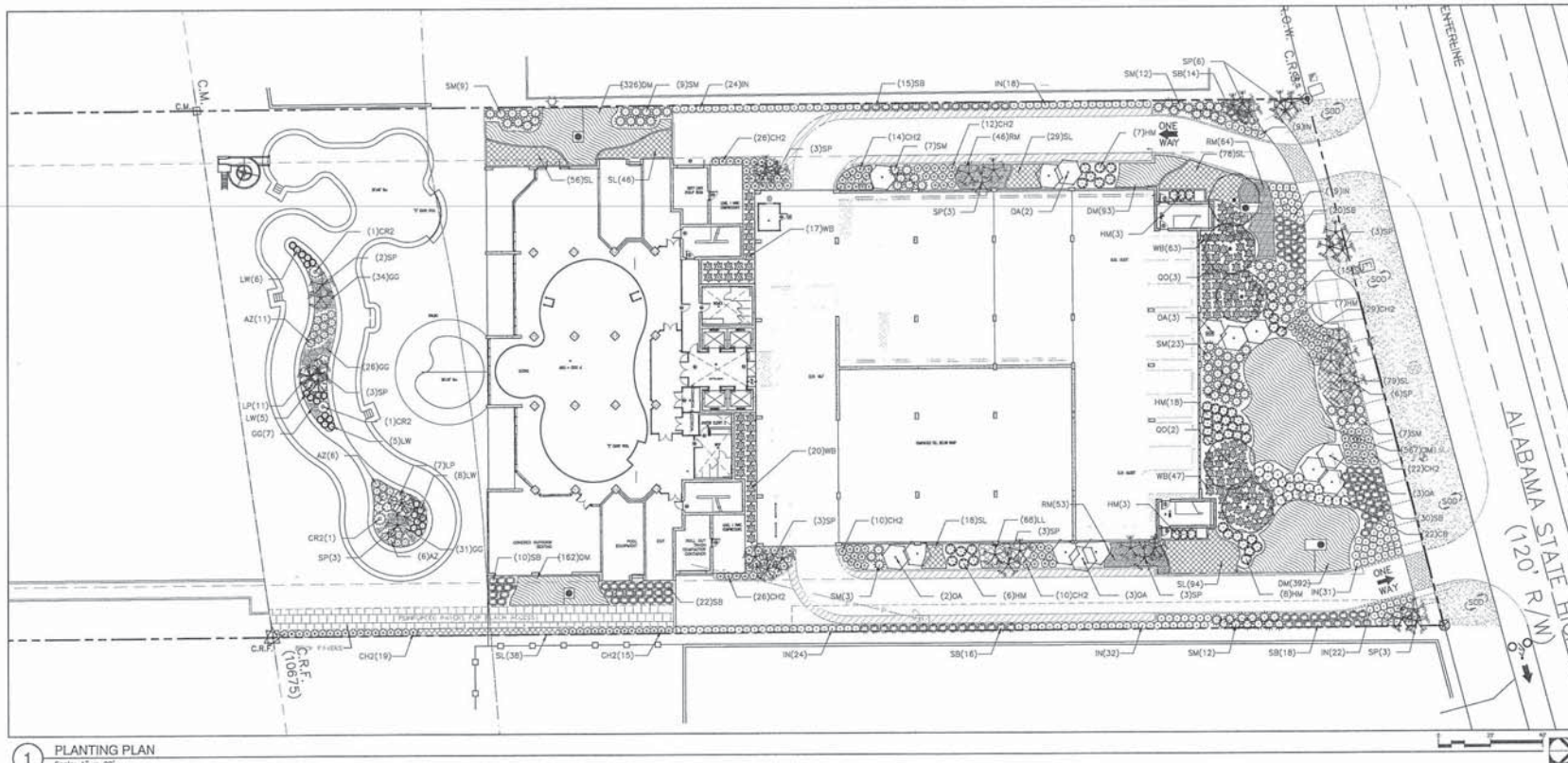


Short Title

LANDSCAPE  
PLANTING PLAN

Sheet No.

LP100





**NOT FOR CONSTRUCTION**  
THESE PLANS HAVE NOT BEEN APPROVED  
BY THE GOVERNING AGENCY  
AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
**Phoenix Orange Beach II**  
Orange Beach, Alabama

Revised	No.	Date	Revisions / Submissions
	05.12.17		FOR CITY REVIEW
	05.16.17		FOR CITY REVIEW
	05.02.17		FOR CITY REVIEW



Sheet Title

**LANDSCAPING  
DETAILS**

Sheet No.

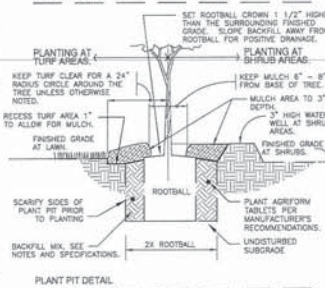
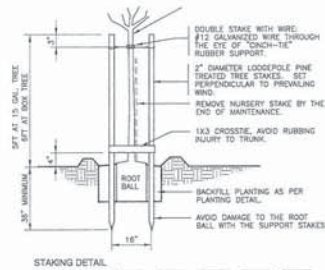
**LP500**

**PLANT SCHEDULE**

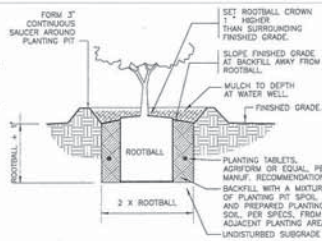
TREES	CODE	QTY	BOTANICAL NAME	CONT	HT
	QO	5	Quercus geminata Bald Live Oak	15 gal	
	SP	41	Sabal palmetto Cabbage Palm Clear trunk height noted, varying, unless noted otherwise	N/A	14-20' CT
SHRUBS	CODE	QTY	BOTANICAL NAME	CONT	SPACING
	AZ	23	Albizia parvifolia Shall Digger	3 gal	42" o.c.
	CB	22	Calcege americana American Beautyberry	3 gal	48" o.c.
	CHC	183	Conradina canadensis Beach Heather	1 gal	36" o.c.
	CR2	3	Cycas revoluta Sago Palm	15 gal	60" o.c.
	HM	52	Hibiscus moscheutos Sweep Shallow	3 gal	48" o.c.
	IN	179	Ilex vomitoria 'Nana' Dwarf Yaupon	3 gal	36" o.c.
	LW	24	Lomandra longifolia 'White Sands' PPAF Platinum Beauty Lomandra	3 gal	36" o.c.
	LP	18	Loposetium citreus 'PP1' PP25471 Purple Daydream Loposetium	3 gal	42" o.c.
	OA	14	Olea europaea Wild Olive	3 gal	120" o.c.
	VB	147	Panicum equisetum Western Brackenfern	3 gal	48" o.c.
	SM	98	Sabal minor Dwarf Palmetto	7 gal	54" o.c.
	SB	126	Spartina patens Sand Cord Grass	1 gal	48" o.c.
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	CONT	SPACING
	DM	1,540	Dune Mix (Linum paniculata/pomosa imparata) Sea Oats & Beach Morning Glory Rate (2 Oats per 1 Morning Glory)	2" plug	18" o.c.
	LL	66	Lilium californicum Southern Red Lily	3 gal	18" o.c.
	RM	163	Rosa x 'Majordomo' PPAF Joy Drib Rose	3 gal	24" o.c.
	SL	438	Schizanthus scaberrimus Little Bluebell Grass	1 gal	24" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	CONT	SPACING
	GO	98	Gaillardia x grandiflora 'Burst Flam' Burst Flam Blanket Flower	1 gal	18" o.c.
SOOBERED	CODE	QTY	BOTANICAL NAME	CONT	SPACING
	CO2	4,018 sf	Cynodon dactylon Bermuda Grass	sod	

**QUANTITY TAKEOFF DISCLAIMER:**

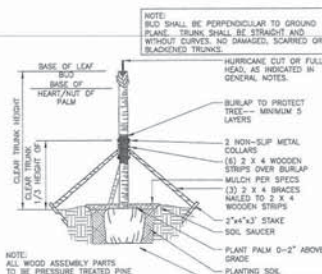
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.



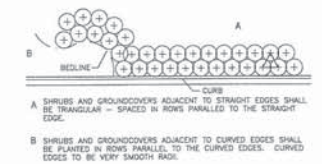
**5 TREE PLANTING DOUBLE STAKE**  
1" = 12"  
329343-02



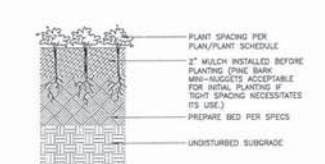
**6 SHRUB PLANTING**  
1" = 1'-0"  
329343-01



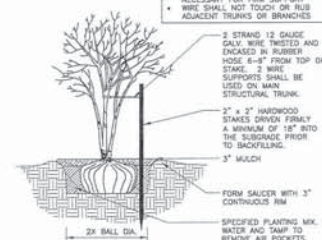
**4 PALM TREE PLANTING**  
1/8" = 1'-0"  
329343-02



**1 TYPICAL PLANT SPACING**  
329399-04

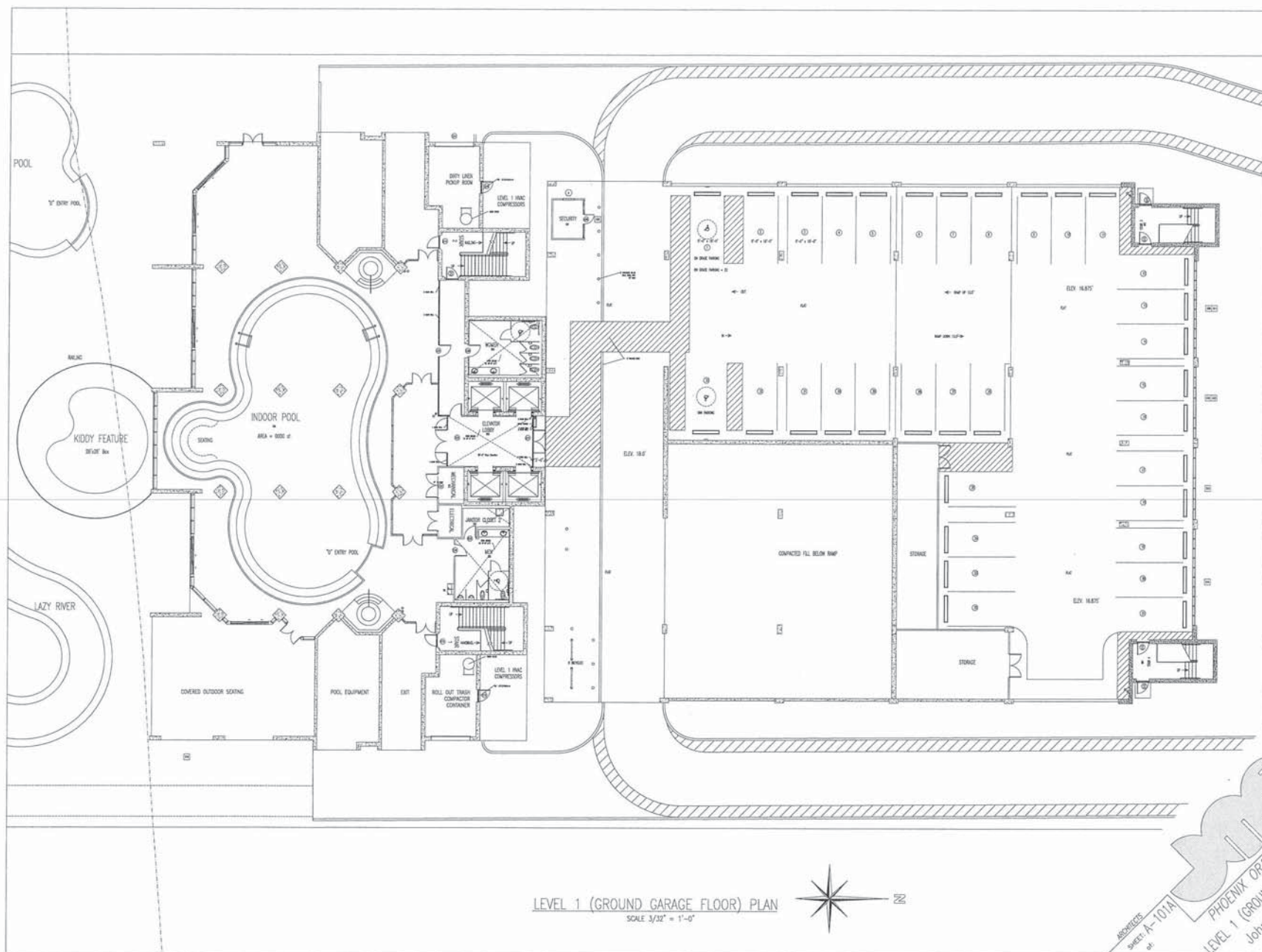


**2 GROUNDCOVER PLANTING**  
329343-01



**3 MULTI-TRUNK TREE STAKING**  
329343-01





LEVEL 1 (GROUND GARAGE FLOOR) PLAN  
SCALE 3/32" = 1'-0"

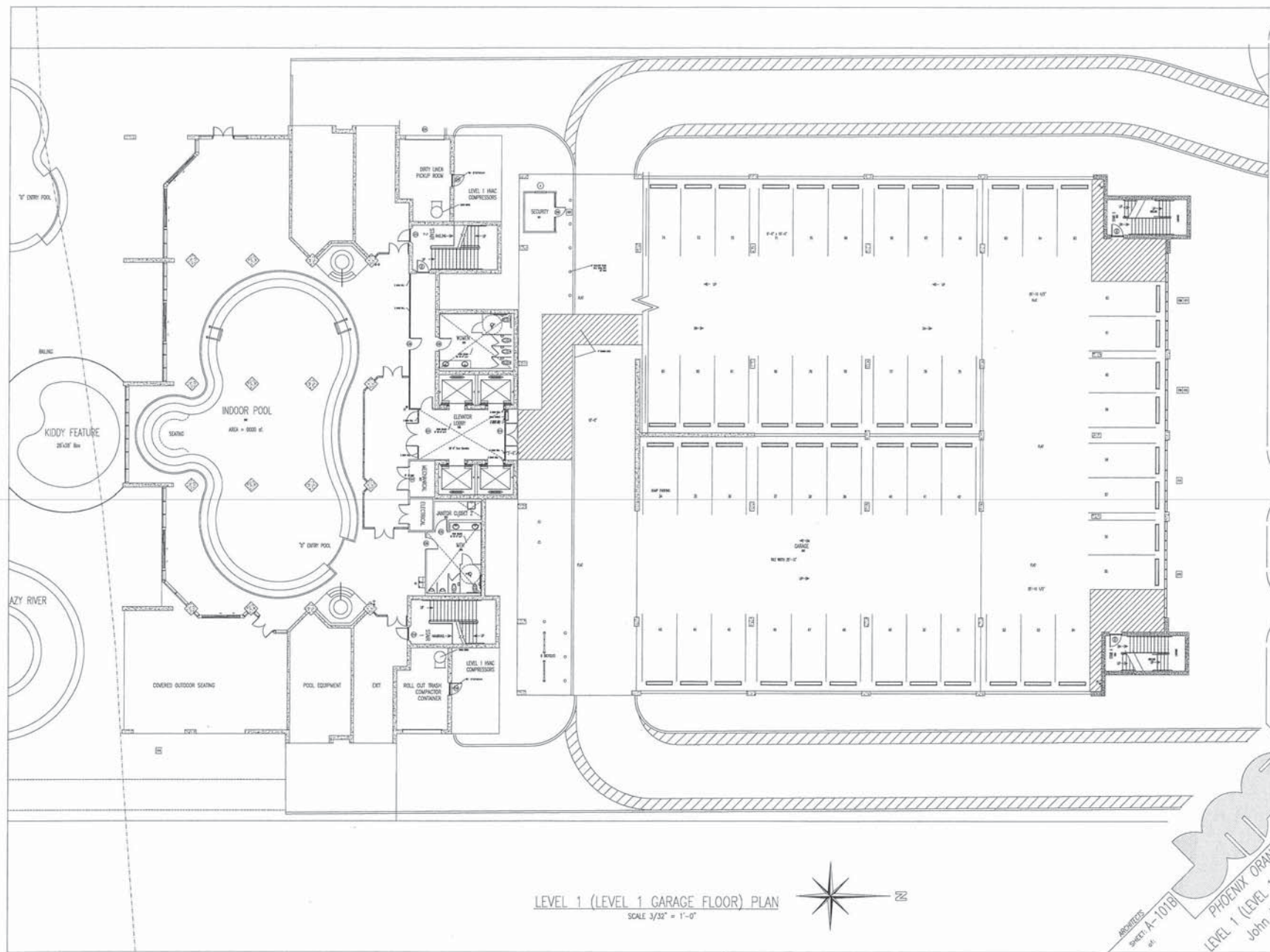


REVISIONS

1. 10-20-18

REVISIONS  
1. 10-20-18  
2. 11-15-18  
3. 12-10-18  
4. 01-10-19  
5. 02-10-19  
6. 03-10-19  
7. 04-10-19  
8. 05-10-19  
9. 06-10-19  
10. 07-10-19  
11. 08-10-19  
12. 09-10-19  
13. 10-10-19  
14. 11-10-19  
15. 12-10-19  
16. 01-11-20  
17. 02-11-20  
18. 03-11-20  
19. 04-11-20  
20. 05-11-20  
21. 06-11-20  
22. 07-11-20  
23. 08-11-20  
24. 09-11-20  
25. 10-11-20  
26. 11-11-20  
27. 12-11-20  
28. 01-12-20  
29. 02-12-20  
30. 03-12-20  
31. 04-12-20  
32. 05-12-20  
33. 06-12-20  
34. 07-12-20  
35. 08-12-20  
36. 09-12-20  
37. 10-12-20  
38. 11-12-20  
39. 12-12-20  
40. 01-01-21  
41. 02-01-21  
42. 03-01-21  
43. 04-01-21  
44. 05-01-21  
45. 06-01-21  
46. 07-01-21  
47. 08-01-21  
48. 09-01-21  
49. 10-01-21  
50. 11-01-21  
51. 12-01-21  
52. 01-02-22  
53. 02-02-22  
54. 03-02-22  
55. 04-02-22  
56. 05-02-22  
57. 06-02-22  
58. 07-02-22  
59. 08-02-22  
60. 09-02-22  
61. 10-02-22  
62. 11-02-22  
63. 12-02-22  
64. 01-03-23  
65. 02-03-23  
66. 03-03-23  
67. 04-03-23  
68. 05-03-23  
69. 06-03-23  
70. 07-03-23  
71. 08-03-23  
72. 09-03-23  
73. 10-03-23  
74. 11-03-23  
75. 12-03-23  
76. 01-04-24  
77. 02-04-24  
78. 03-04-24  
79. 04-04-24  
80. 05-04-24  
81. 06-04-24  
82. 07-04-24  
83. 08-04-24  
84. 09-04-24  
85. 10-04-24  
86. 11-04-24  
87. 12-04-24  
88. 01-05-25  
89. 02-05-25  
90. 03-05-25  
91. 04-05-25  
92. 05-05-25  
93. 06-05-25  
94. 07-05-25  
95. 08-05-25  
96. 09-05-25  
97. 10-05-25  
98. 11-05-25  
99. 12-05-25  
100. 01-06-26  
101. 02-06-26  
102. 03-06-26  
103. 04-06-26  
104. 05-06-26  
105. 06-06-26  
106. 07-06-26  
107. 08-06-26  
108. 09-06-26  
109. 10-06-26  
110. 11-06-26  
111. 12-06-26  
112. 01-07-27  
113. 02-07-27  
114. 03-07-27  
115. 04-07-27  
116. 05-07-27  
117. 06-07-27  
118. 07-07-27  
119. 08-07-27  
120. 09-07-27  
121. 10-07-27  
122. 11-07-27  
123. 12-07-27  
124. 01-08-28  
125. 02-08-28  
126. 03-08-28  
127. 04-08-28  
128. 05-08-28  
129. 06-08-28  
130. 07-08-28  
131. 08-08-28  
132. 09-08-28  
133. 10-08-28  
134. 11-08-28  
135. 12-08-28  
136. 01-09-29  
137. 02-09-29  
138. 03-09-29  
139. 04-09-29  
140. 05-09-29  
141. 06-09-29  
142. 07-09-29  
143. 08-09-29  
144. 09-09-29  
145. 10-09-29  
146. 11-09-29  
147. 12-09-29  
148. 01-10-30  
149. 02-10-30  
150. 03-10-30  
151. 04-10-30  
152. 05-10-30  
153. 06-10-30  
154. 07-10-30  
155. 08-10-30  
156. 09-10-30  
157. 10-10-30  
158. 11-10-30  
159. 12-10-30  
160. 01-11-31  
161. 02-11-31  
162. 03-11-31  
163. 04-11-31  
164. 05-11-31  
165. 06-11-31  
166. 07-11-31  
167. 08-11-31  
168. 09-11-31  
169. 10-11-31  
170. 11-11-31  
171. 12-11-31  
172. 01-12-32  
173. 02-12-32  
174. 03-12-32  
175. 04-12-32  
176. 05-12-32  
177. 06-12-32  
178. 07-12-32  
179. 08-12-32  
180. 09-12-32  
181. 10-12-32  
182. 11-12-32  
183. 12-12-32  
184. 01-01-33  
185. 02-01-33  
186. 03-01-33  
187. 04-01-33  
188. 05-01-33  
189. 06-01-33  
190. 07-01-33  
191. 08-01-33  
192. 09-01-33  
193. 10-01-33  
194. 11-01-33  
195. 12-01-33  
196. 01-02-34  
197. 02-02-34  
198. 03-02-34  
199. 04-02-34  
200. 05-02-34  
201. 06-02-34  
202. 07-02-34  
203. 08-02-34  
204. 09-02-34  
205. 10-02-34  
206. 11-02-34  
207. 12-02-34  
208. 01-03-35  
209. 02-03-35  
210. 03-03-35  
211. 04-03-35  
212. 05-03-35  
213. 06-03-35  
214. 07-03-35  
215. 08-03-35  
216. 09-03-35  
217. 10-03-35  
218. 11-03-35  
219. 12-03-35  
220. 01-04-36  
221. 02-04-36  
222. 03-04-36  
223. 04-04-36  
224. 05-04-36  
225. 06-04-36  
226. 07-04-36  
227. 08-04-36  
228. 09-04-36  
229. 10-04-36  
230. 11-04-36  
231. 12-04-36  
232. 01-05-37  
233. 02-05-37  
234. 03-05-37  
235. 04-05-37  
236. 05-05-37  
237. 06-05-37  
238. 07-05-37  
239. 08-05-37  
240. 09-05-37  
241. 10-05-37  
242. 11-05-37  
243. 12-05-37  
244. 01-06-38  
245. 02-06-38  
246. 03-06-38  
247. 04-06-38  
248. 05-06-38  
249. 06-06-38  
250. 07-06-38  
251. 08-06-38  
252. 09-06-38  
253. 10-06-38  
254. 11-06-38  
255. 12-06-38  
256. 01-07-39  
257. 02-07-39  
258. 03-07-39  
259. 04-07-39  
260. 05-07-39  
261. 06-07-39  
262. 07-07-39  
263. 08-07-39  
264. 09-07-39  
265. 10-07-39  
266. 11-07-39  
267. 12-07-39  
268. 01-08-40  
269. 02-08-40  
270. 03-08-40  
271. 04-08-40  
272. 05-08-40  
273. 06-08-40  
274. 07-08-40  
275. 08-08-40  
276. 09-08-40  
277. 10-08-40  
278. 11-08-40  
279. 12-08-40  
280. 01-09-41  
281. 02-09-41  
282. 03-09-41  
283. 04-09-41  
284. 05-09-41  
285. 06-09-41  
286. 07-09-41  
287. 08-09-41  
288. 09-09-41  
289. 10-09-41  
290. 11-09-41  
291. 12-09-41  
292. 01-10-42  
293. 02-10-42  
294. 03-10-42  
295. 04-10-42  
296. 05-10-42  
297. 06-10-42  
298. 07-10-42  
299. 08-10-42  
300. 09-10-42  
301. 10-10-42  
302. 11-10-42  
303. 12-10-42  
304. 01-11-43  
305. 02-11-43  
306. 03-11-43  
307. 04-11-43  
308. 05-11-43  
309. 06-11-43  
310. 07-11-43  
311. 08-11-43  
312. 09-11-43  
313. 10-11-43  
314. 11-11-43  
315. 12-11-43  
316. 01-12-44  
317. 02-12-44  
318. 03-12-44  
319. 04-12-44  
320. 05-12-44  
321. 06-12-44  
322. 07-12-44  
323. 08-12-44  
324. 09-12-44  
325. 10-12-44  
326. 11-12-44  
327. 12-12-44  
328. 01-01-45  
329. 02-01-45  
330. 03-01-45  
331. 04-01-45  
332. 05-01-45  
333. 06-01-45  
334. 07-01-45  
335. 08-01-45  
336. 09-01-45  
337. 10-01-45  
338. 11-01-45  
339. 12-01-45  
340. 01-02-46  
341. 02-02-46  
342. 03-02-46  
343. 04-02-46  
344. 05-02-46  
345. 06-02-46  
346. 07-02-46  
347. 08-02-46  
348. 09-02-46  
349. 10-02-46  
350. 11-02-46  
351. 12-02-46  
352. 01-03-47  
353. 02-03-47  
354. 03-03-47  
355. 04-03-47  
356. 05-03-47  
357. 06-03-47  
358. 07-03-47  
359. 08-03-47  
360. 09-03-47  
361. 10-03-47  
362. 11-03-47  
363. 12-03-47  
364. 01-04-48  
365. 02-04-48  
366. 03-04-48  
367. 04-04-48  
368. 05-04-48  
369. 06-04-48  
370. 07-04-48  
371. 08-04-48  
372. 09-04-48  
373. 10-04-48  
374. 11-04-48  
375. 12-04-48  
376. 01-05-49  
377. 02-05-49  
378. 03-05-49  
379. 04-05-49  
380. 05-05-49  
381. 06-05-49  
382. 07-05-49  
383. 08-05-49  
384. 09-05-49  
385. 10-05-49  
386. 11-05-49  
387. 12-05-49  
388. 01-06-50  
389. 02-06-50  
390. 03-06-50  
391. 04-06-50  
392. 05-06-50  
393. 06-06-50  
394. 07-06-50  
395. 08-06-50  
396. 09-06-50  
397. 10-06-50  
398. 11-06-50  
399. 12-06-50  
400. 01-07-51  
401. 02-07-51  
402. 03-07-51  
403. 04-07-51  
404. 05-07-51  
405. 06-07-51  
406. 07-07-51  
407. 08-07-51  
408. 09-07-51  
409. 10-07-51  
410. 11-07-51  
411. 12-07-51  
412. 01-08-52  
413. 02-08-52  
414. 03-08-52  
415. 04-08-52  
416. 05-08-52  
417. 06-08-52  
418. 07-08-52  
419. 08-08-52  
420. 09-08-52  
421. 10-08-52  
422. 11-08-52  
423. 12-08-52  
424. 01-09-53  
425. 02-09-53  
426. 03-09-53  
427. 04-09-53  
428. 05-09-53  
429. 06-09-53  
430. 07-09-53  
431. 08-09-53  
432. 09-09-53  
433. 10-09-53  
434. 11-09-53  
435. 12-09-53  
436. 01-10-54  
437. 02-10-54  
438. 03-10-54  
439. 04-10-54  
440. 05-10-54  
441. 06-10-54  
442. 07-10-54  
443. 08-10-54  
444. 09-10-54  
445. 10-10-54  
446. 11-10-54  
447. 12-10-54  
448. 01-11-55  
449. 02-11-55  
450. 03-11-55  
451. 04-11-55  
452. 05-11-55  
453. 06-11-55  
454. 07-11-55  
455. 08-11-55  
456. 09-11-55  
457. 10-11-55  
458. 11-11-55  
459. 12-11-55  
460. 01-12-56  
461. 02-12-56  
462. 03-12-56  
463. 04-12-56  
464. 05-12-56  
465. 06-12-56  
466. 07-12-56  
467. 08-12-56  
468. 09-12-56  
469. 10-12-56  
470. 11-12-56  
471. 12-12-56  
472. 01-01-57  
473. 02-01-57  
474. 03-01-57  
475. 04-01-57  
476. 05-01-57  
477. 06-01-57  
478. 07-01-57  
479. 08-01-57  
480. 09-01-57  
481. 10-01-57  
482. 11-01-57  
483. 12-01-57  
484. 01-02-58  
485. 02-02-58  
486. 03-02-58  
487. 04-02-58  
488. 05-02-58  
489. 06-02-58  
490. 07-02-58  
491. 08-02-58  
492. 09-02-58  
493. 10-02-58  
494. 11-02-58  
495. 12-02-58  
496. 01-03-59  
497. 02-03-59  
498. 03-03-59  
499. 04-03-59  
500. 05-03-59  
501. 06-03-59  
502. 07-03-59  
503. 08-03-59  
504. 09-03-59  
505. 10-03-59  
506. 11-03-59  
507. 12-03-59  
508. 01-04-60  
509. 02-04-60  
510. 03-04-60  
511. 04-04-60  
512. 05-04-60  
513. 06-04-60  
514. 07-04-60  
515. 08-04-60  
516. 09-04-60  
517. 10-04-60  
518. 11-04-60  
519. 12-04-60  
520. 01-05-61  
521. 02-05-61  
522. 03-05-61  
523. 04-05-61  
524. 05-05-61  
525. 06-05-61  
526. 07-05-61  
527. 08-05-61  
528. 09-05-61  
529. 10-05-61  
530. 11-05-61  
531. 12-05-61  
532. 01-06-62  
533. 02-06-62  
534. 03-06-62  
535. 04-06-62  
536. 05-06-62  
537. 06-06-62  
538. 07-06-62  
539. 08-06-62  
540. 09-06-62  
541. 10-06-62  
542. 11-06-62  
543. 12-06-62  
544. 01-07-63  
545. 02-07-63  
546. 03-07-63  
547. 04-07-63  
548. 05-07-63  
549. 06-07-63  
550. 07-07-63  
551. 08-07-63  
552. 09-07-63  
553. 10-07-63  
554. 11-07-63  
555. 12-07-63  
556. 01-08-64  
557. 02-08-64  
558. 03-08-64  
559. 04-08-64  
560. 05-08-64  
561. 06-08-64  
562. 07-08-64  
563. 08-08-64  
564. 09-08-64  
565. 10-08-64  
566. 11-08-64  
567. 12-08-64  
568. 01-09-65  
569. 02-09-65  
570. 03-09-65  
571. 04-09-65  
572. 05-09-65  
573. 06-09-65  
574. 07-09-65  
575. 08-09-65  
576. 09-09-65  
577. 10-09-65  
578. 11-09-65  
579. 12-09-65  
580. 01-10-66  
581. 02-10-66  
582. 03-10-66  
583. 04-10-66  
584. 05-10-66  
585. 06-10-66  
586. 07-10-66  
587. 08-10-66  
588. 09-10-66  
589. 10-10-66  
590. 11-10-66  
591. 12-10-66  
592. 01-11-67  
593. 02-11-67  
594. 03-11-67  
595. 04-11-67  
596. 05-11-67  
597. 06-11-67  
598. 07-11-67  
599. 08-11-67  
600. 09-11-67  
601. 10-11-67  
602. 11-11-67  
603. 12-11-67  
604. 01-12-68  
605. 02-12-68  
606. 03-12-68  
607. 04-12-68  
608. 05-12-68  
609. 06-12-68  
610. 07-12-68  
611. 08-12-68  
612. 09-12-68  
613. 10-12-68  
614. 11-12-68  
615. 12-12-68  
616. 01-01-69  
617. 02-01-69  
618. 03-01-69  
619. 04-01-69  
620. 05-01-69  
621. 06-01-69  
622. 07-01-69  
623. 08-01-69  
624. 09-01-69  
625. 10-01-69  
626. 11-01-69  
627. 12-01-69  
628. 01-02-70  
629. 02-02-70  
630. 03-02-70  
631. 04-02-70  
632. 05-02-70  
633. 06-02-70  
634. 07-02-70  
635. 08-02-70  
636. 09-02-70  
637. 10-02-70  
638. 11-02-70  
639. 12-02-70  
640. 01-03-71  
641. 02-03-71  
642. 03-03-71  
643. 04-03-71  
644. 05-03-71  
645. 06-03-71  
646. 07-03-71  
647. 08-03-71  
648. 09-03-71  
649. 10-03-71  
650. 11-03-71  
651. 12-03-71  
652. 01-04-72  
653. 02-04-72  
654. 03-04-72  
655. 04-04-72  
656. 05-04-72  
657. 06-04-72  
658. 07-04-72  
659. 08-04-72  
660. 09-04-72  
661. 10-04-72  
662. 11-04-72  
663. 12-04-72  
664. 01-05-73  
665. 02-05-73  
666. 03-05-73  
667. 04-05-73  
668. 05-05-73  
669. 06-05-73  
670. 07-05-73  
671. 08-05-73  
672. 09-05-73  
673. 10-05-73  
674. 11-05-73  
675. 12-05-73  
676. 01-06-74  
677. 02-06-74  
678. 03-06-74  
679. 04-06-74  
680. 05-06-74  
681. 06-06-74  
682. 07-06-74  
683. 08-06-74  
684. 09-06-74  
685. 10-06-74  
686. 11-06-74  
687. 12-06-74  
688. 01-07-75  
689. 02-07-75  
690. 03-07-75  
691. 04-07-75  
692. 05-07-75  
693. 06-07-75  
694. 07-07-75  
695. 08-07-75  
696. 09-07-75  
697. 10-07-75  
698. 11-07-75  
699. 12-07-75  
700. 01-08-76  
701. 02-08-76  
702. 03-08-76  
703. 04-08-76  
704. 05-08-76  
705. 06-08-76  
706. 07-08-76  
707. 08-08-76  
708. 09-08-76  
709. 10-08-76  
710. 11-08-76  
711. 12-08-76  
712. 01-09-77  
713. 02-09-77  
714. 03-09-77  
715. 04-09-77  
716. 05-09-77  
717. 06-09-77  
718. 07-09-77  
719. 08-09-77  
720. 09-09-77  
721. 10-09-77  
722. 11-09-77  
723. 12-09-77  
724. 01-10-78  
725. 02-10-78  
726. 03-10-78  
727. 04-10-78  
728. 05-10-78  
729. 06-10-78  
730. 07-10-78  
731. 08-10-78  
732. 09-10-78  
733. 10-10-78  
734. 11-10-78  
735. 12-10-78  
736. 01-11-79  
737. 02-11-79  
738. 03-11-79  
739. 04-11-79  
740. 05-11-79  
741. 06-11-79  
742. 07-11-79  
743. 08-11-79  
744. 09-11-79  
745. 10-11-79  
746. 11-11-79  
747. 12-11-79  
748. 01-12-80  
749. 02-12-80  
750. 03-12-80  
751. 04-12-80  
752. 05-12-80  
753. 06-12-80  
754. 07-12-80  
755. 08-12-80  
756. 09-12-80  
757. 10-12-80  
758. 11-12-80  
759. 12-12-80  
760. 01-01-81  
761. 02-01-81  
762. 03-01-81  
763. 04-01-81  
764. 05-01-81  
765. 06-01-81  
766. 07-01-81  
767. 08-01-81  
768. 09-01-81  
769. 10-01-81  
770. 11-01-81  
771. 12-01-81  
772. 01-02-82  
773. 02-02-82  
774. 03-02-82  
775. 04-02-82  
776. 05-02-82  
777. 06-02-82  
778. 07-02-82  
779. 08-02-82  
780. 09-02-82  
781. 10-02-82  
782. 11-02-82  
783. 12-02-82  
784. 01-03-83  
785. 02-03-83  
786. 03-03-83  
787. 04-03-83  
788. 05-03-83  
789. 06-03-83  
790. 07-03-83  
791. 08-03-83  
792. 09-03-83  
793. 10-03-83  
794. 11-03-83  
795. 12-03-83  
796. 01-04-84  
797. 02-04-84  
798. 03-04-84  
799. 04-04-84  
800. 05-04-84  
801. 06-04-84  
802. 07-04-84  
803. 08-04-84  
804. 09-04-84  
805. 10-04-84  
806. 11-04-84  
807. 12-04-84  
808. 01-05-85  
809. 02-05-85  
810. 03-05-85  
811. 04-05-85  
812. 05-05-





LEVEL 1 (LEVEL 1 GARAGE FLOOR) PLAN  
SCALE 3/32" = 1'-0"



REVISIONS  
1. 10-03-18

SITE PLAN REVIEW

THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



Architect  
SHEET A-101B  
DATE 09/09/17  
PROJECT: 1017-004  
PHASE: 400

PHOENIX ORANGE BEACH II  
LEVEL 1 (LEVEL 1 GARAGE FLOOR) PLAN  
John M. Senkari, A.I.A.  
www.senkari.com  
1108 W. 10th Ave  
Phoenix, AZ 85007  
(602) 441-0001

# SITE PLAN REVIEW

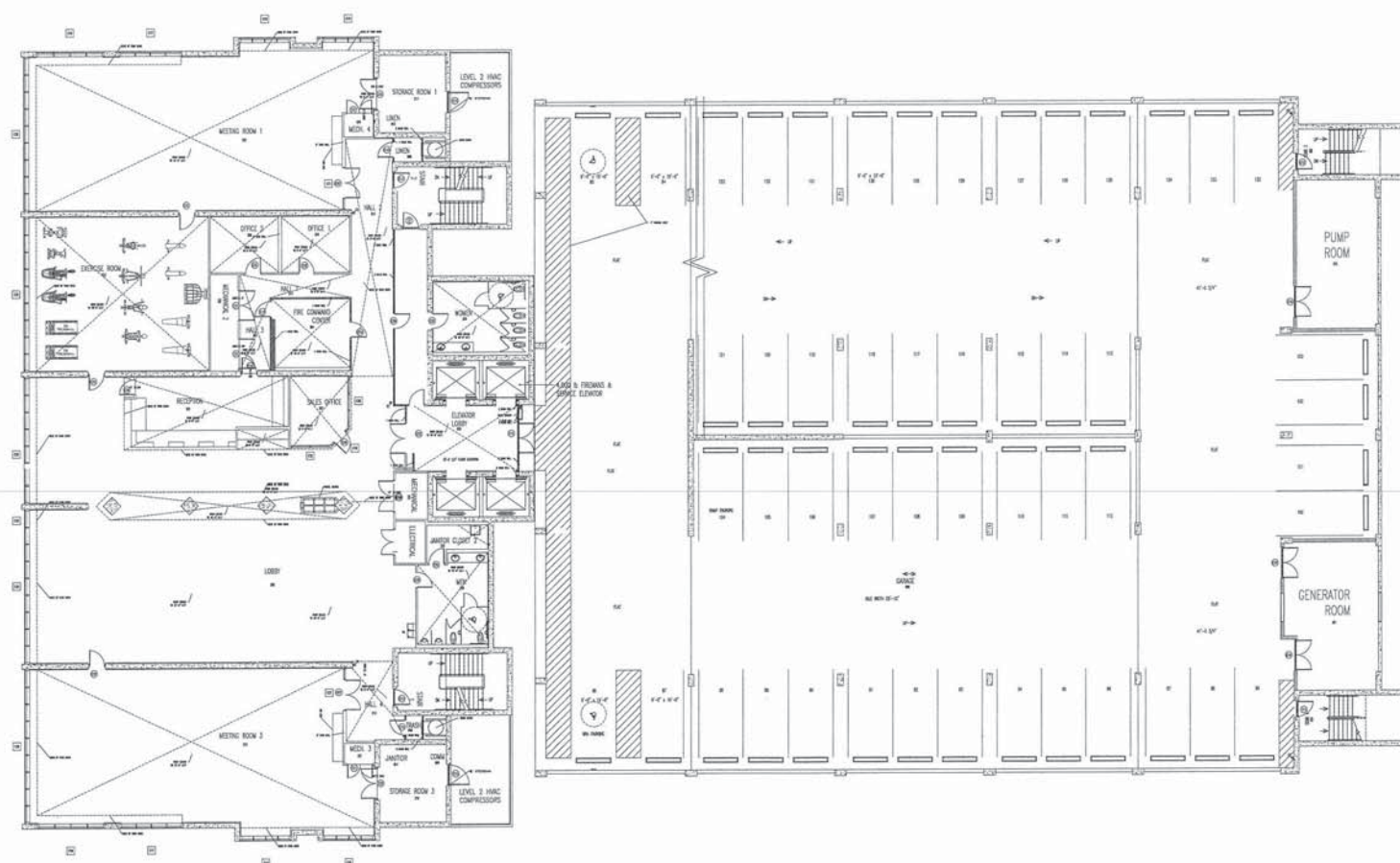
[illegible]

Seal PLANNERS  
PROJECT: 2017-004  
DATE: 00/00/17  
ANS

ARCHITECTS  
SHEET: A-102

PHOENIX ORANGE BEACH II  
LEVEL 2 (2nd FLOOR) PLAN  
John M. Senkariak, A.I.A.  
and Associates  
www.senkariak-architect.com  
1155 Niles Dr.  
Phoenix, AZ 85016  
(602)434-5551

Senkan Associates  
www.senkan-architect.com  
1156 Nopkes Drive  
Palm Beach, FL 33507  
(850) 434-5551



LEVEL 2 (2nd FLOOR) PLAN  
SCALE 3/32" = 1'-0"





PHOENIX ORANGE BEACH  
LEVEL 3 (3rd FLOOR)  
M. Senk

PHOENIX ORANGE BEACH II  
LEVEL 3 (3rd FLOOR) PLAN  
John M. Senkariak, A.I.A.  
and Associates  
www.senkariak-associates.com  
1156 Holmes Blvd.  
Phoenix, AZ 85007  
(602) 954-3551

PROJECT: 2017-004  
DATE: 03/09/17

JOHN W. SEIDMAN, A.J.A. AND ASSOCIATES  
has expressly reserved the commercial  
copyright and other property rights in these  
plans. Drawings are not to be reproduced,  
reprinted, or copied in any form whatsoever,  
nor are they to be submitted to any third  
party without the express written  
written permission and consent of

SITE PLAN REVIEW

REVISIONS  
4-18



1. 04-14-13

### SITE PLAN REVIEW

EXERCISES FOR VIVA SESSIONS IN SELF  
LEARNING FOR INCREASED SERVICE  
TO THE COMMUNITY  
1. Identify the community health  
needs of your community. How  
can you address these needs?  
2. Identify the community health  
needs of your community. How  
can you address these needs?  
3. Identify the community health  
needs of your community. How  
can you address these needs?



Seal PLANNERS  
PROJECT: 2017-004  
DATE: 02/02/17  
DWN: JMS

**303**  
PHOENIX ORANGE BEACH II  
LEVEL 4 (4th FLOOR) PLAN  
John M. Sentarik, A.I.A.  
and Associates  
www.jmsentarik.com  
1100 Camelback Road, Suite 200  
Phoenix, Arizona 85016  
(602) 953-3001

ARCHITECTS  
SHEET: A-104  
of:

LEVEL 4 (4th FLOOR) PLAN  
SCALE 3/32" = 1'-0"



1. 3/8" HOOK  
2" x 2" GASK METAL STUD  
# 12" BE DESIGNED TO MEET THE  
STRUCTURAL AND LOADS  
INTERIOR FINISH 2" CROWN  
SPRINKLER  
FIREALARM DET. ILLUMINATION  
BETWEEN STUDS  
CROWN FINISH 1/2"  
ORANGE GILD FINISH, TYPE A,  
WITH LIGN AND PLESTER FOR THE  
SPECIFICATIONS.

1. 06-14-03

[illegible]

PROJECT: 2017-204  
DATE: 02/03/17  
JMS

**PHOENIX ORANGE BEACH II**  
**LEVEL 5 (5th FLOOR) PLAN**  
**John M. Senkarik, A.I.A.**  
**and Associates**  
[www.senkarik-and-associates.com](http://www.senkarik-and-associates.com)  
11500 Kingsway Drive  
Tampa, FL 33607  
(813) 934-4555

1156 Naples Drive  
Naples, FL 34107  
(850) 434-5551









1. 04-04-13

## SITE PLAN REVIEW

[illegible]

Serial PLANNERS  
PROJECT: 2017-004  
DATE: 02/03/17  
PRE: JNS

ARCHITECTS  
SHEET: A-107

**PHOENIX ORANGE BEACH II**  
LEVEL 7-26 (7-27th FLOOR) PLAN  
John M. Senkarik, A.I.A.  
and Associates  
www.senkarik-architect.com  
1156 N. Maple Drive  
Tampa, FL 33606  
(813) 541-4535

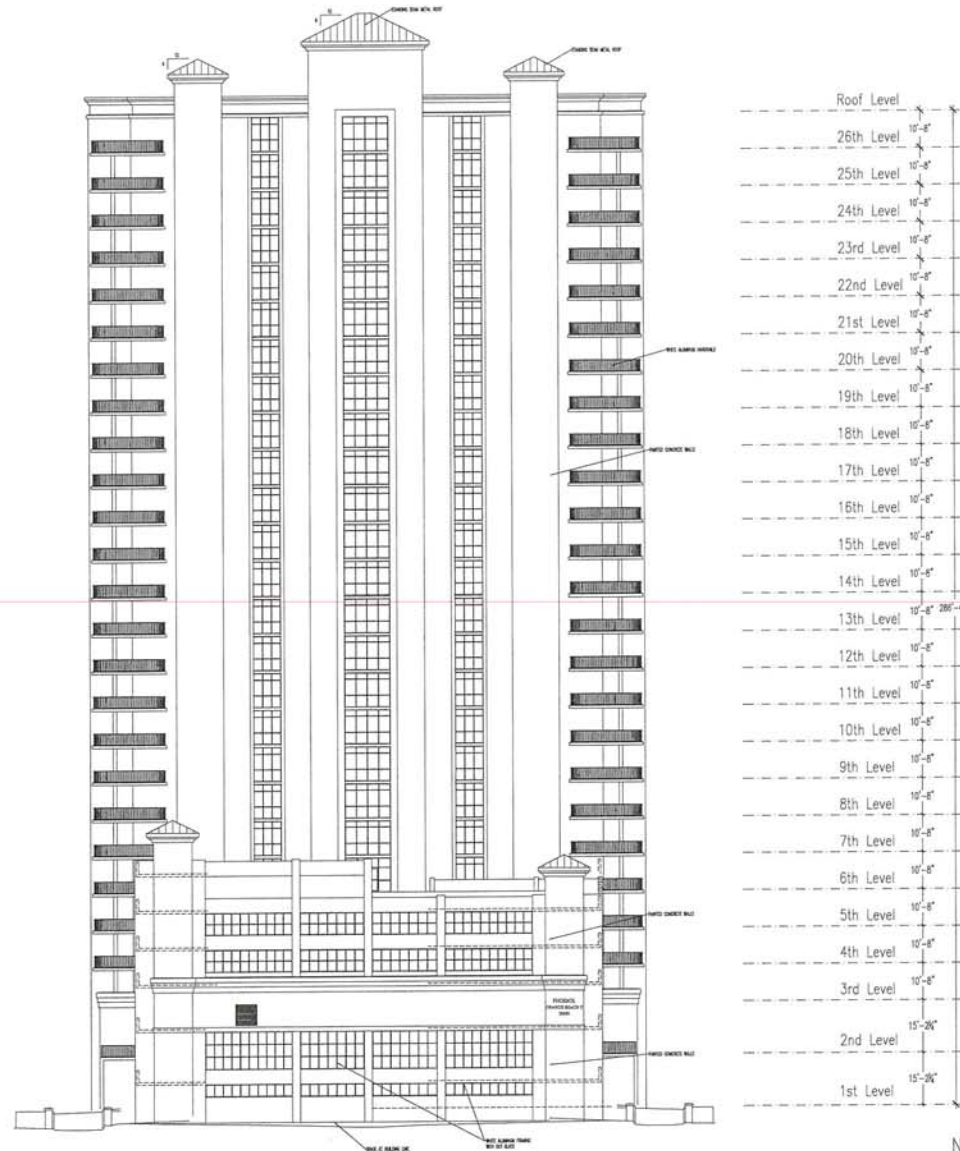
1. 05-08-17 Add Revision Notes.

## SITE PLAN REVIEW

[illegible]

PROJECT: 2017-004  
DATE: 03/05/17  
BY: JMS

PHOENIX ORANGE BEACH II  
NORTH ELEVATION  
John M. Senkark, A.I.A.  
www.senkark-associates.com  
156 West 10th Avenue  
Prescott, AZ 86301  
(920) 444-0251



NORTH ELEVATION  
SCALE 1/16" = 1'-0"

1. 10-29-17 Add Revision Notes.

## SITE PLAN REVIEW

JOHN W. SENGMEYER, A.L.A. AND ASSOCIATES  
 hereby expressly authorize its corporate and  
 individual officers and employees to execute and  
 sign any and all documents and other papers in  
 connection with the above-captioned matter.  
 In witness whereof, I have hereunto set my  
 hand and the seal of the above-captioned  
 company this 1st day of August, 1912.

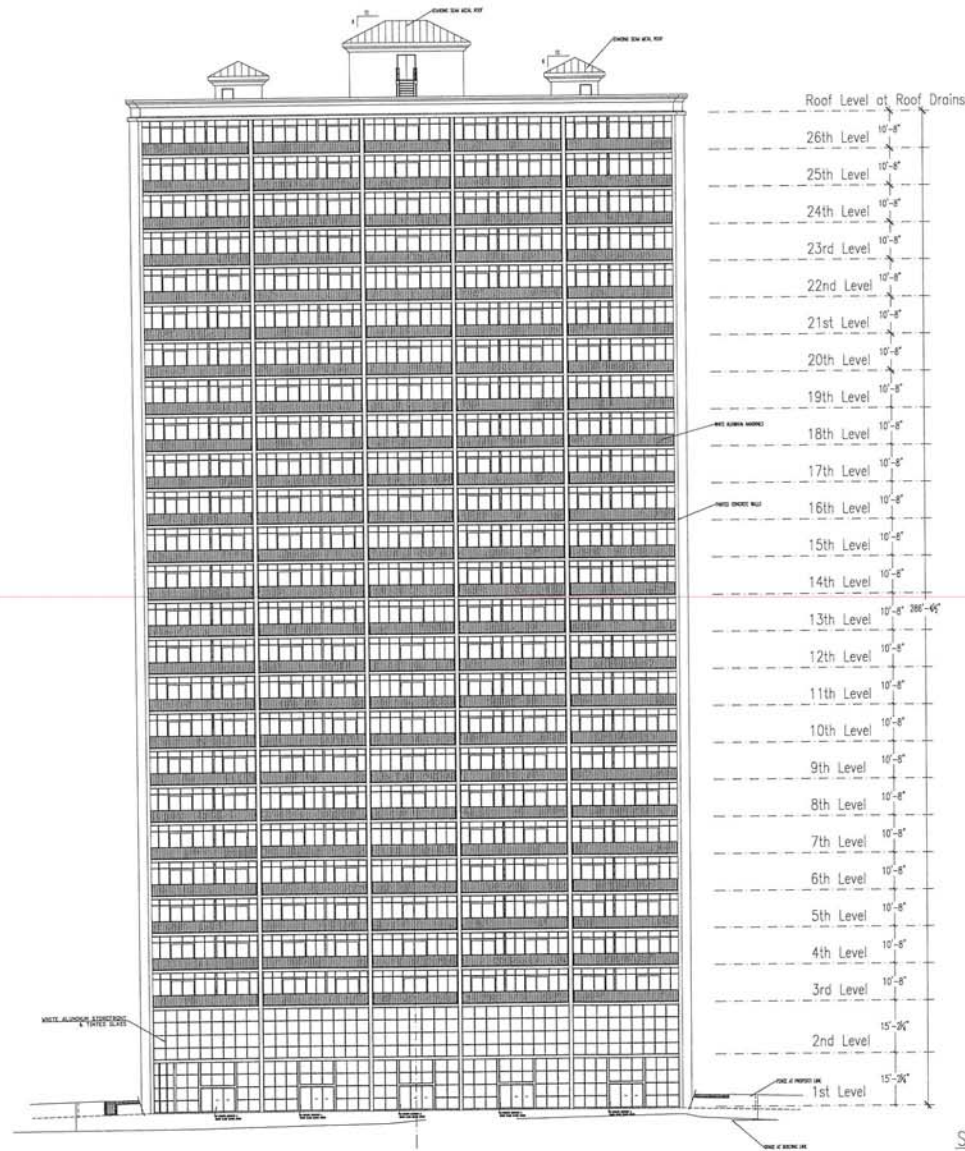
JOHN W. SENGMEYER, A.L.A. AND ASSOCIATES.

Florida Filing No. 1400002577  
 Submission Date: 1912



Seal PLANNERS  
PROJECT: 2017-004  
DATE: 02/09/17  
JMS

**33**  
PHOENIX ORANGE BEACH II  
SOUTH ELEVATION, A.I.A.  
John M. Senkarik, P.E.  
and Associates  
www.senkarik-associates.com  
1156 Hope Drive  
Peoria, IL 61611  
(800) 438-6551



SOUTH ELEVATION  
SCALE 1/16" = 1'-0"



1. 10-11-17 Add Review Notes

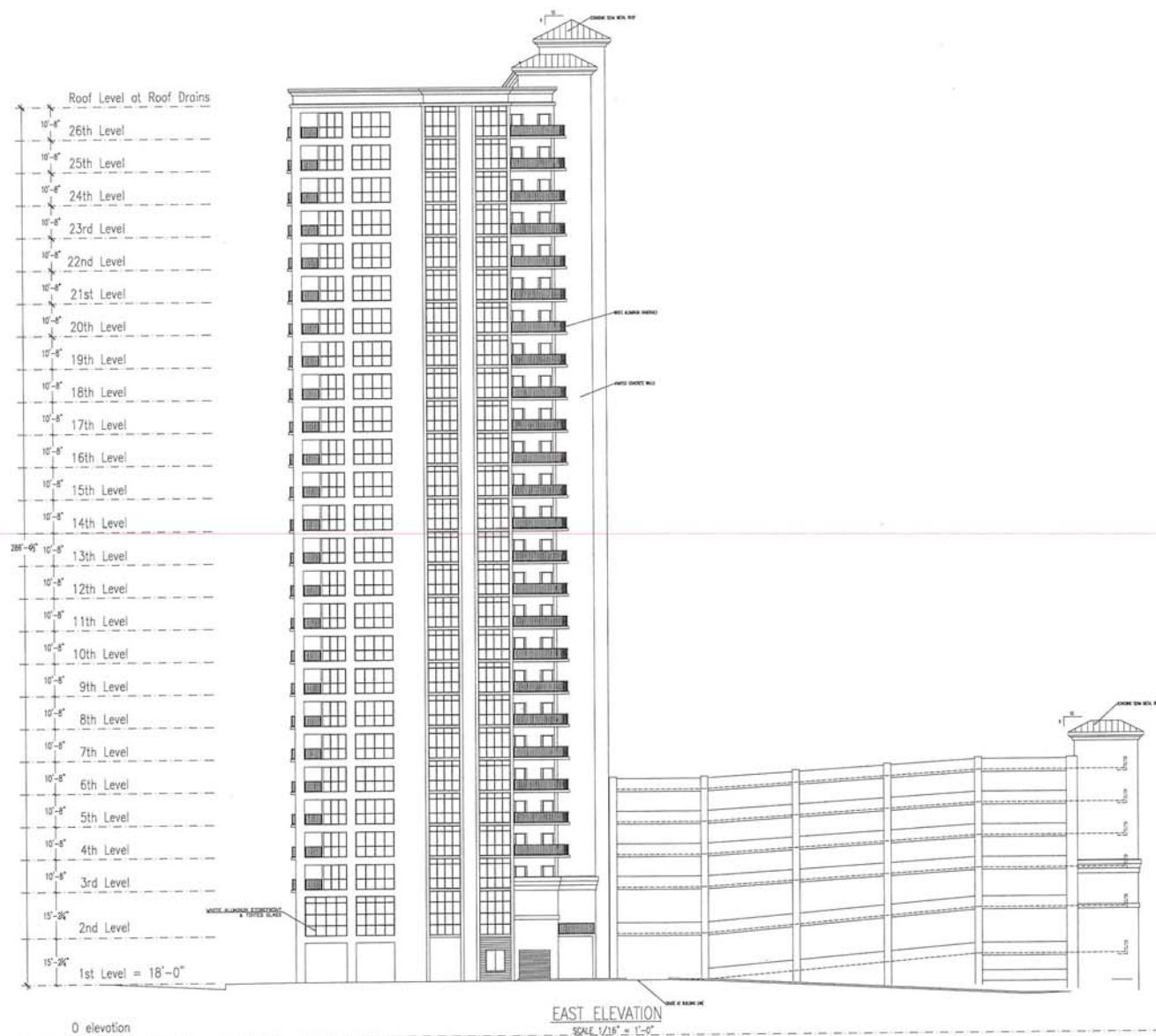
## SITE PLAN REVIEW

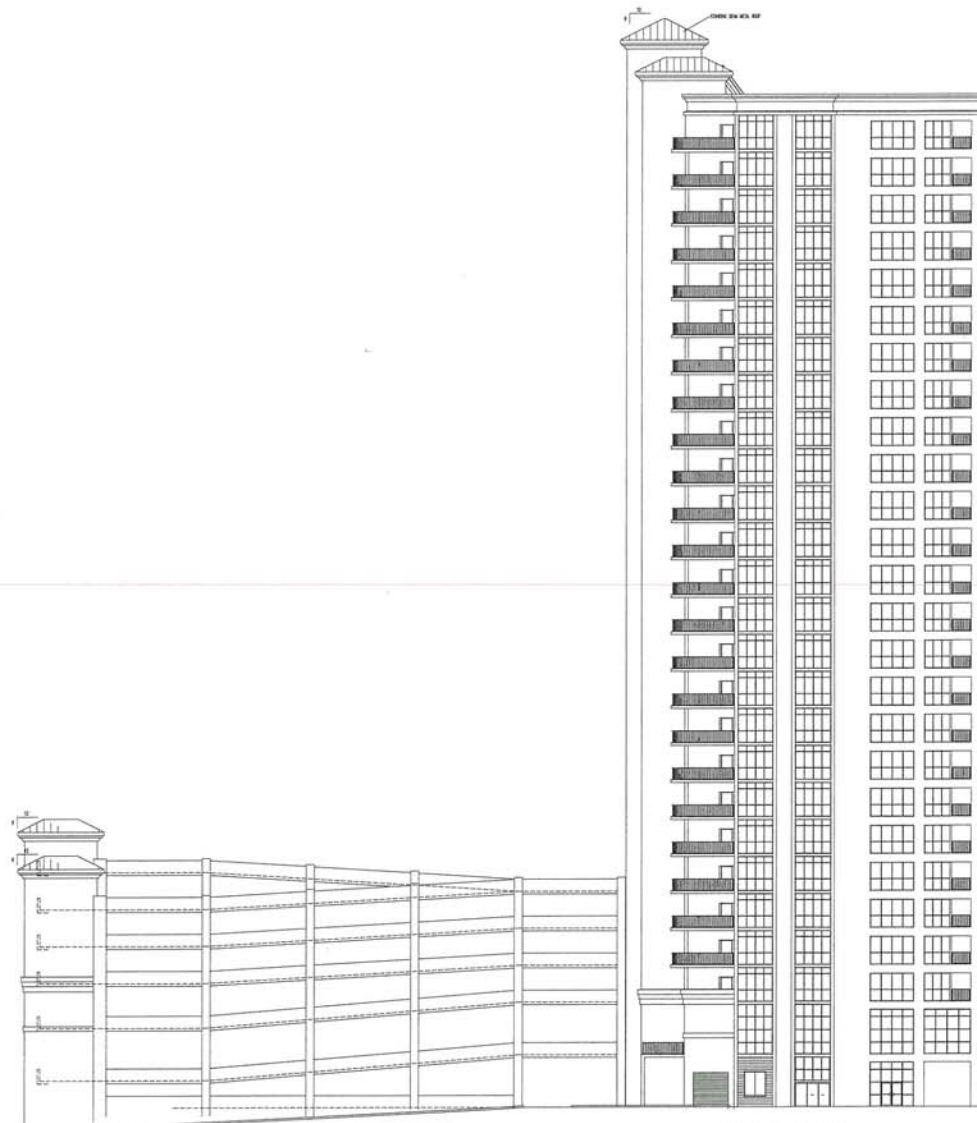
JOHN W. HENRICKS, A.L.A. AND ASSOCIATES  
ready-to-use measures for communication  
training and other projects. Orders to  
purchase training are not to be reproduced,  
copied, or altered in any form whatsoever,  
and they are to be included in any other  
materials for training use without the prior  
written consent of the publisher.



Seal PLANNED  
PROJECT: 2017-2018  
DATE: 03/06/2018

PHOENIX ORANGE BEACH II  
EAST ELEVATION  
John M. Senkovich, A.I.A.  
www.senkovich-architect.com  
1106 Maple Drive  
Tomball, TX 77375  
(281) 351-4545





WEST ELEVATION  
SCALE 1/16" = 1'-0"

Roof Level at Roof Drains	15'-0"
26th Level	15'-0"
25th Level	15'-0"
24th Level	15'-0"
23rd Level	15'-0"
22nd Level	15'-0"
21st Level	15'-0"
20th Level	15'-0"
19th Level	15'-0"
18th Level	15'-0"
17th Level	15'-0"
16th Level	15'-0"
15th Level	15'-0"
14th Level	15'-0"
13th Level	15'-0" 200'-0"
12th Level	15'-0"
11th Level	15'-0"
10th Level	15'-0"
9th Level	15'-0"
8th Level	15'-0"
7th Level	15'-0"
6th Level	15'-0"
5th Level	15'-0"
4th Level	15'-0"
3rd Level	15'-0"
2nd Level	15'-0"
1st Level	15'-0"

# REVISIONS

1. 10-21-17 AM Revision Notes

SITE PLAN REVIEW

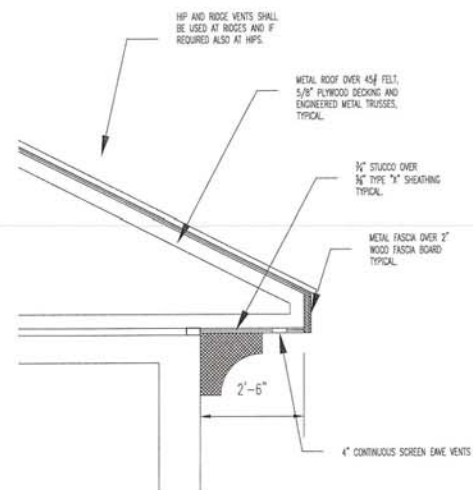
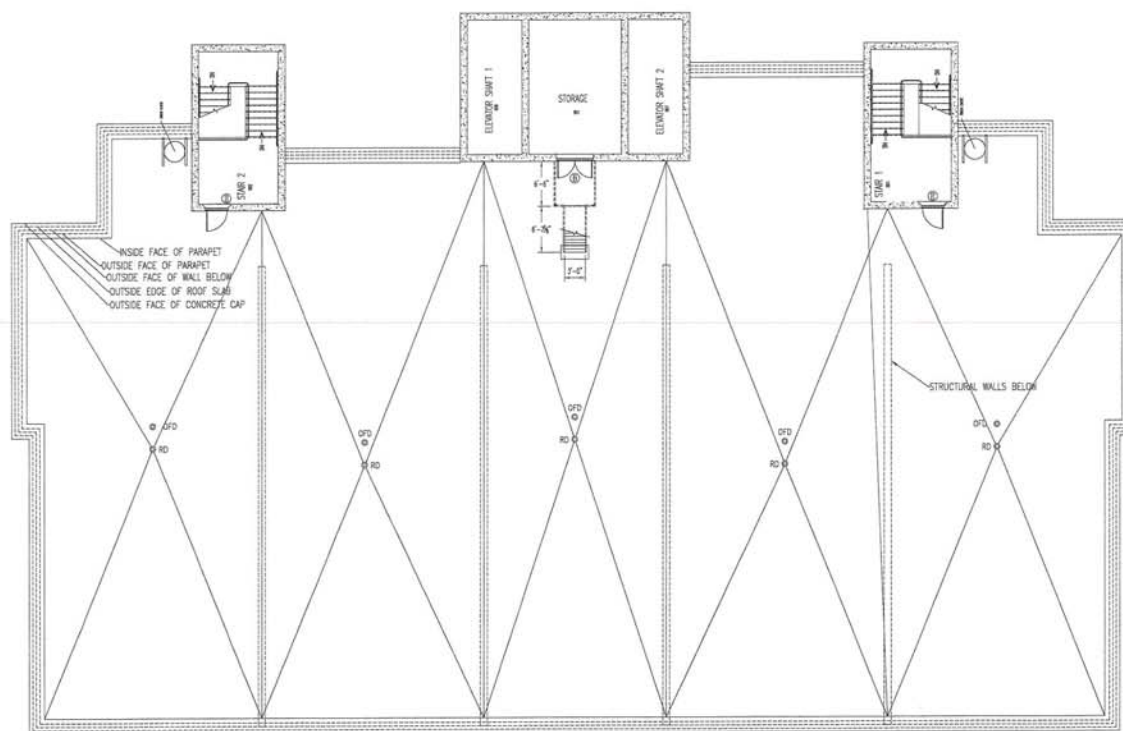
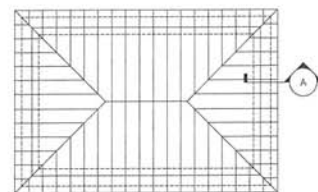
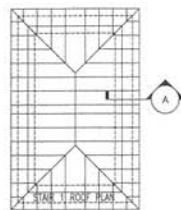
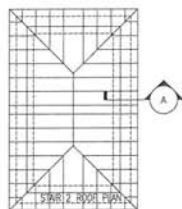


DATE: 10/21/17  
PROJECT: 2017-004  
JOB: 365



PHOENIX ORANGE BEACH II  
WEST ELEVATION  
John M. Senkovich, AIA  
and Associates  
www.senkovich-associates.com  
11544 South Orange Blvd.  
Phoenix, AZ 85037  
(602) 434-5557

ADDRESS  
SHEET A-127  
OF



LEVEL 23 ROOF PLAN  
SCALE 1/8" = 1'-0"



## REVISIONS

9. 04.79.10

## SITE PLAN REVIEW

JOHN W. SIMMONS, S.A. and ASSOCIATES  
 10000 Wilshire Blvd., Suite 1000  
 Beverly Hills, CA 90210  
 Telephone: (310) 276-1111  
 Telex: 154141  
 Fax: (310) 276-1112

SHEL PLANNERS  
 PROJECT: 2017-004  
 DATE: 05/02/17  
 JMS



PHOENIX ORANGE BEACH II  
LEVEL 28 ROOF PLAN  
John M. Senkarik, A.I.A.  
and Associates  
www.senkarik-and-associates.com  
1156 Widge Drive  
Naples, FL 34107  
734-4553

ARCHITECTS  
SHEET: A-128



CALCULATION SUMMARY						
LABEL	CALC TYPE	UNITS	REQ	MAX	MIN	AVG/DBL MIN/MAX
DISPERSED	ILLUMINANCE	FC	2.07	8.3	0.3	4.90
DISPERSED	ILLUMINANCE	FC	1.48	5.0	0.3	4.87
COVERED SEATING	ILLUMINANCE	FC	3.31	2.8	1.8	1.44
POOL DECK	ILLUMINANCE	FC	1.38	8.1	0.3	3.93
CEILING	ILLUMINANCE	FC	2.07	5.1	0.4	1.63
LIGHT SPILL	ILLUMINANCE	FC	0.001	0.3	0.0	N/A

LIGHTING FIXTURE SCHEDULE				
MARK	LAMP	TYPE	MANUFACTURER AND CATALOG NUMBER	
BL 30	LED	BOLLARD	WILLERBOND MPT-5314-42-AMBER-277-942	
BL 30	LED	BOLLARD	WILLERBOND MPT-5314-42-AMBER-277-942-95	BEACH SIDE SHIELD
BL 148	LED	WALL ARMOR	ELCOST 1820-LED-18W-15AMBER LED-82	
CL 24	LED	SURFACE	ELCOST 1820-LED-18W-15AMBER LED-82	
PGL 60	LED	WALL ARMOR	ELCOST 1820-LED-18W-15AMBER LED-82	



FIXTURE \*PGL\*



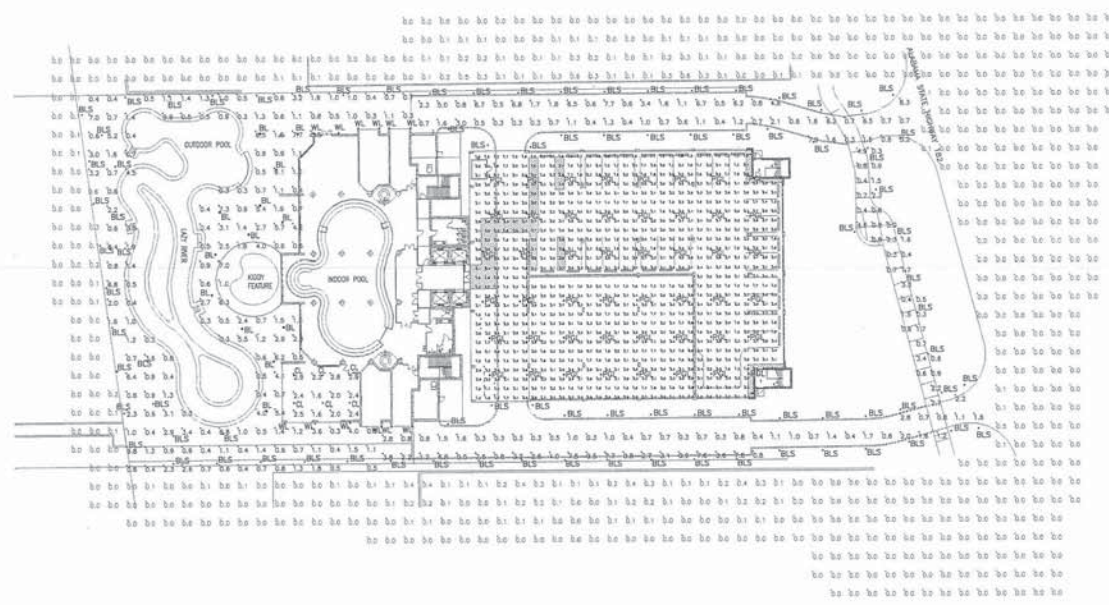
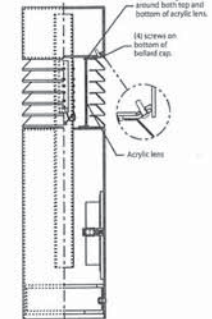
FIXTURE \*WL\*



FIXTURE \*CL\*



FIXTURE \*BL\*



SITE PLAN - PHOTOMETRICS  
SCALE: 1" = 30'-0"

SITE PLAN GENERAL NOTES

1. ALL WINDOWS AND GLASS DOORS WITHIN LINE-OF-SIGHT OF THE BEACH SHALL BE TINTED OR HAVE TINTING APPLIED TO ACHIEVE 40% OR LESS LIGHT TRANSMITTANCE VALUE FROM INSIDE TO OUTSIDE, WHICH SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. WINDOW TINT REQUIREMENTS SHALL APPLY TO SKINNED AND INSIDE-REFLECTING SIDES OF THE STRUCTURE. REQUIREMENTS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
2. EXTERIOR LIGHTING SHALL BE ARRANGED IN A MANNER TO SHIELD OR DEFLECT LIGHT AWAY FROM ADJACENT PROPERTIES AND PUBLIC STREETS AND SHALL NOT HAVE AN ADVERSE IMPACT ON THE SURROUNDING AREA.
3. THE UNDERWATER POOL LIGHTING IS PROVIDED BY OTHERS AND NOT ACCOUNTED FOR IN THESE CALCULATIONS.



H.M. Yonge & Assoc., Inc.  
Consulting Engineers  
401 EAST CHASE BL.  
SUITE 200  
PUEBLO, CO 81001  
PHONE: 303.233.0000  
FAX: 303.233.0001

ARCHITECT  
SHEET E-001  
DATE: 4-14-2017  
PROJECT: 2017-001  
PHOENIX ORANGE BEACH II  
LIGHTING PHOTOMETRICS AND DETAILS  
John M. Senkork, AIA  
and Associates  
11554 W. 11th Ave.  
PUEBLO, CO 81001  
(303) 244-5001

REVISIONS

SITE PLAN REVIEW

THIS DOCUMENT IS THE PROPERTY OF H.M. YONGE & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF H.M. YONGE & ASSOCIATES, INC.



Seal / PLANNERS  
PROJECT: 2017-001  
DATE: 4-14-2017  
SHEET: 001

**CASE NO. 0702-PUD-17 – PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT APPROVAL – PHOENIX ORANGE BEACH PUD II – OWNER/APPLICANT: BRETT REAL ESTATE ROBINSON DEVELOPMENT COMPANY INC.** – Request by the applicant for recommendation to City Council to rezone 4.8 acres from BR-2 (BEACH RESORT HIGH DENSITY) to PUD (PLANNED UNIT DEVELOPMENT) for a condominium development with 120 units. The municipal addresses are 26686 – 26714 PERDIDO BEACH BOULEVARD.

FOR

                    /                    

AGAINST

                    —                    

NO COMMENT

                    —                    

OTHER

                    /                    

as of noon 07/<sup>10</sup>~~19~~/2017

Notice of Public Hearing  
Orange Beach Planning Commission  
**July 10, 2017 - 4:00 P.M.**  
Orange Beach Municipal Complex – Council Chambers  
4099 Orange Beach Blvd.

**CASE NO. 0702-PUD-17 – PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT APPROVAL – PHOENIX ORANGE BEACH PUD II – OWNER/APPLICANT: BRETT REAL ESTATE ROBINSON DEVELOPMENT COMPANY INC.** – Request by the applicant for recommendation to City Council to rezone 4.8 acres from BR-2 (BEACH RESORT HIGH DENSITY) to PUD (PLANNED UNIT DEVELOPMENT) for a condominium development with 120 units. The municipal addresses are 26686 – 26714 PERDIDO BEACH BOULEVARD.

Please provide the following information and mail back to the City of Orange Beach if you plan to attend the public hearing on this matter. This information will enable the City to inform you if, for any reason, the public hearing on this matter is postponed or cancelled. It is very important that this form be returned if you are planning to attend as it could save you an unnecessary trip if the hearing is cancelled or if this item is removed from the agenda.

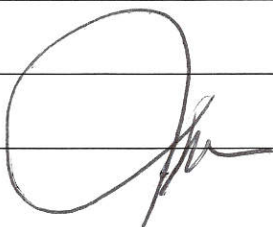
If you cannot attend the meeting but wish to submit your comments, please use the space below.

Name: TOM STABER  
Mailing Address: P.O. Box 2500  
City, State, Zip: ORANGE BEACH, AL. 36561  
Day Phone (251) 609-1555

Please return this form to: Paulette Taylor  
Orange Beach Planning Commission  
P.O. Box 2432  
Orange Beach, AL 36561  
(251) 981-6794  
(251) 981-3725 Fax  
email: ptaylor@cityoforangebeach.com

Comments:

WE COULD NOT HAVE A BETTER NEIGHBOR!



RECEIVED

JUL - 5 2017



Notice of Public Hearing  
Orange Beach Planning Commission  
July 10, 2017 - 4:00 P.M.  
Orange Beach Municipal Complex – Council Chambers  
4099 Orange Beach Blvd.

**CASE NO. 0702-PUD-17 – PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT APPROVAL – PHOENIX ORANGE BEACH PUD II – OWNER/APPLICANT: BRETT REAL ESTATE ROBINSON DEVELOPMENT COMPANY INC.** – Request by the applicant for recommendation to City Council to rezone 4.8 acres from BR-2 (BEACH RESORT HIGH DENSITY) to PUD (PLANNED UNIT DEVELOPMENT) for a condominium development with 120 units. The municipal addresses are 26686 – 26714 PERDIDO BEACH BOULEVARD.

Please provide the following information and mail back to the City of Orange Beach if you plan to attend the public hearing on this matter. This information will enable the City to inform you if, for any reason, the public hearing on this matter is postponed or cancelled. It is very important that this form be returned if you are planning to attend as it could save you an unnecessary trip if the hearing is cancelled or if this item is removed from the agenda.

If you cannot attend the meeting but wish to submit your comments, please use the space below.

Name: JOHN BRETT  
Mailing Address: 24325 PERDIDO BEACH BLVD.  
City, State, Zip: ORANGE BEACH, AL. 36561  
Day Phone (251) 981-6180 *work* 251-942-2123 *cell*

Please return this form to: Paulette Taylor  
Orange Beach Planning Commission  
P.O. Box 2432  
Orange Beach, AL 36561  
(251) 981-6794  
(251) 981-3725 Fax  
email: [ptaylor@cityoforangebeach.com](mailto:ptaylor@cityoforangebeach.com)

Comments:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Applicant*

RECEIVED

JUL - 6 2017

**Notice of Public Hearing**  
**Orange Beach Planning Commission**  
**July 10, 2017 - 4:00 P.M.**  
**Orange Beach Municipal Complex – Council Chambers**  
**4099 Orange Beach Blvd.**

**CASE NO. 0702-PUD-17 – PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT APPROVAL – PHOENIX ORANGE BEACH PUD II – OWNER/APPLICANT: BRETT REAL ESTATE ROBINSON DEVELOPMENT COMPANY INC.** – Request by the applicant for recommendation to City Council to rezone 4.8 acres from BR-2 (BEACH RESORT HIGH DENSITY) to PUD (PLANNED UNIT DEVELOPMENT) for a condominium development with 120 units. The municipal addresses are 26686 – 26714 PERDIDO BEACH BOULEVARD.

Please provide the following information and mail back to the City of Orange Beach if you plan to attend the public hearing on this matter. This information will enable the City to inform you if, for any reason, the public hearing on this matter is postponed or cancelled. It is very important that this form be returned if you are planning to attend as it could save you an unnecessary trip if the hearing is cancelled or if this item is removed from the agenda.

If you cannot attend the meeting but wish to submit your comments, please use the space below.

Name: Harris Newman

Mailing Address: 25299 Canal Road, B-4

City, State, Zip: Orange Beach, AL 36561

Day Phone ( 251 ) 981-4713

Please return this form to:

Paulette Taylor  
Orange Beach Planning Commission  
P.O. Box 2432  
Orange Beach, AL 36561  
(251) 981-6794  
(251) 981-3725 Fax  
email: [ptaylor@cityoforangebeach.com](mailto:ptaylor@cityoforangebeach.com)

Comments:

Notify me if anything changes.

*applicant*

RECEIVED

JUN 29 2017

O.B. COMMUNITY DEV.







**Notice of Public Hearing**  
**Orange Beach Planning Commission**  
**July 10, 2017 - 4:00 P.M.**  
**Orange Beach Municipal Complex - Council Chambers**  
**4099 Orange Beach Blvd.**

**CASE NO. 0702-PUD-17 - PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT APPROVAL - PHOENIX ORANGE BEACH PUD II - OWNER/APPLICANT: BRETT REAL ESTATE ROBINSON DEVELOPMENT COMPANY INC.** - Request by the applicant for recommendation to City Council to rezone 4.8 acres from BR-2 (BEACH RESORT HIGH DENSITY) to PUD (PLANNED UNIT DEVELOPMENT) for a condominium development with 120 units. The municipal addresses are 26686 - 26714 PERDIDO BEACH BOULEVARD.

Please provide the following information and mail back to the City of Orange Beach if you plan to attend the public hearing on this matter. This information will enable the City to inform you if, for any reason, the public hearing on this matter is postponed or cancelled. It is very important that this form be returned if you are planning to attend as it could save you an unnecessary trip if the hearing is cancelled or if this item is removed from the agenda.

If you cannot attend the meeting but wish to submit your comments, please use the space below.

Name: Pat Nelson

Mailing Address: 25299 Canal Road, B-4

City, State, Zip: Orange Beach, AL 36561

Day Phone ( 251 ) 981-4713

Please return this form to:      Paulette Taylor  
Orange Beach Planning Commission  
P.O. Box 2432  
Orange Beach, AL 36561  
(251) 981-6794  
(251) 981-3725 Fax  
email: [ptaylor@cityoforangebeach.com](mailto:ptaylor@cityoforangebeach.com)

Comments:

Notify me if anything changes.

*applicant*

RECEIVED

JUN 29 2017

O.B. COMMUNITY DEV.



**PLANNING & ZONING**  
COMMUNITY DEVELOPMENT DEPARTMENT  
P.O. BOX 2432  
ORANGE BEACH, ALABAMA 36561



**SENT VIA EMAIL TO [HARRISN@GULFTEL.COM](mailto:HARRISN@GULFTEL.COM)**

July 11, 2017

Harris Newman  
Brett Real Estate Robinson Development Company Inc.  
25299 Canal Rd., Suite B-4  
Orange Beach, AL 36561

**RE: Case No. 0702-PUD-17 – Preliminary and Final PUD Approval – Phoenix Orange Beach II PUD**

Dear Mr. Newman:

On Monday, July 10, 2017, the Orange Beach Planning Commission held a public hearing and considered the above referenced request. The Planning Commission approved its favorable recommendation of the application to City Council with the following conditions:

**Planning & Zoning:**

- Provide site plan conceptual approval from ALDOT.
- Filing for and obtaining approval of preliminary and final plat to combine the three lots for compliance with Section 3.2 of the Subdivision Regulations.

**Drainage & Stormwater:**

- Clarification is needed that the beach access will be constructed to provide vehicular access to the beach for emergency response and facilitation of beach services.

**Landscaping:**

- The submitted landscaping plan is approved pending approval from the U.S. Fish and Wildlife Services.

**Fire Prevention:**

- The beach access road shall be 10 feet wide and built with reinforced pavers.

**Utilities:**

- The plans show a 25 HP duplex sewer pump station pumping to a manhole on Highway 182. According to the survey, there should be sufficient depth to allow gravity service and eliminate the lift station all together. If a lift station is preferred, the pumps should be much smaller.

Our office will place this application on the Committee of the Whole agenda on Tuesday, July 18, 2017, to set a date for the public hearing and first reading before City Council.

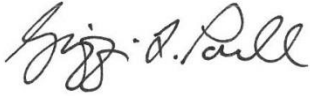
*Harris Newman*

*July 11, 2017*

*Page 2*

If you have any questions, please feel free to contact our office at (251) 981-2610.

Sincerely,

A handwritten signature in black ink, appearing to read "Griffin L. Powell". The signature is fluid and cursive, with the first name "Griffin" being more prominent and the last name "Powell" following in a similar style.

Griffin L. Powell

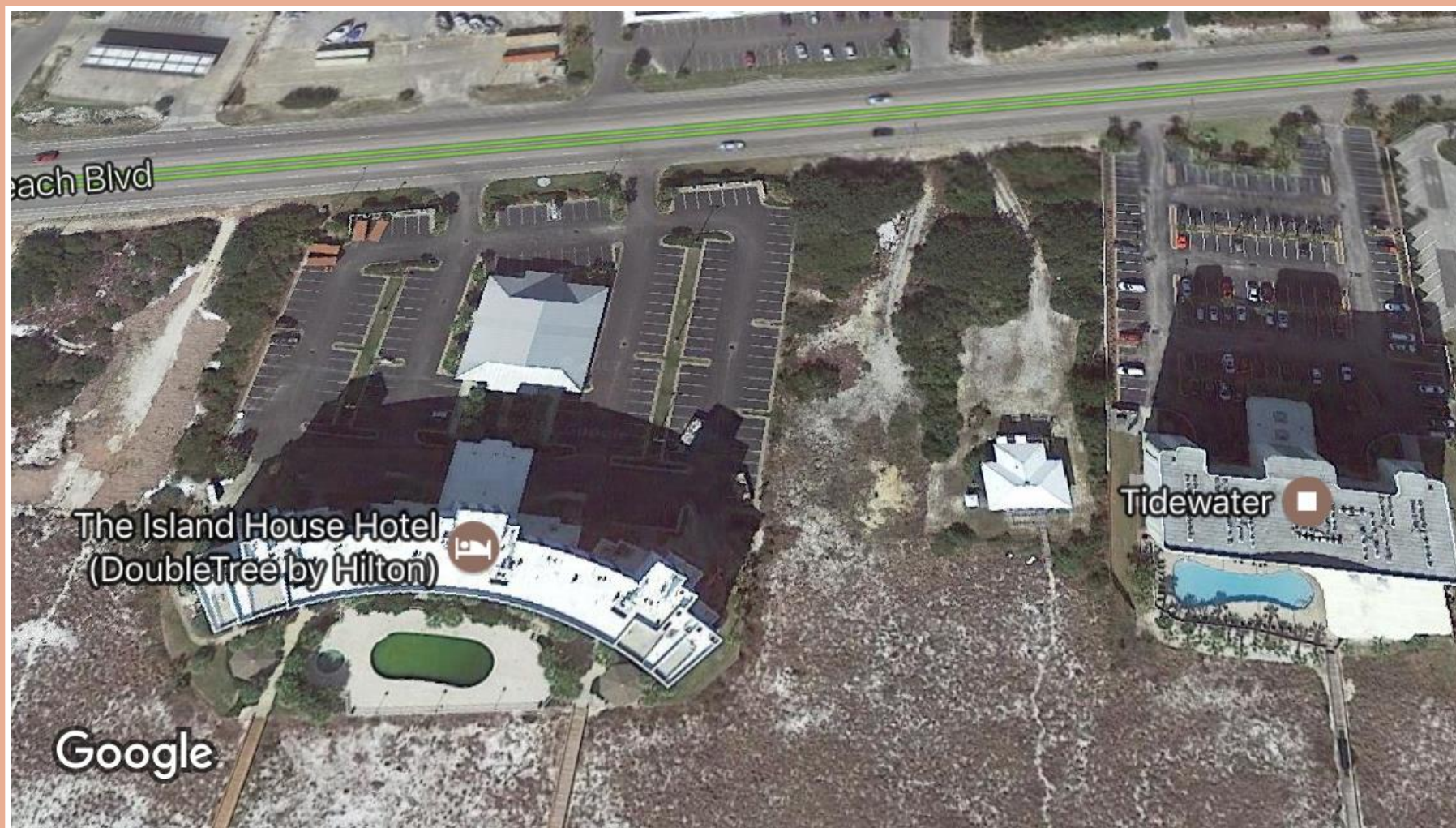
Planner II

cc: Kit Alexander, E&ES Director  
Paulette Taylor, Planner I



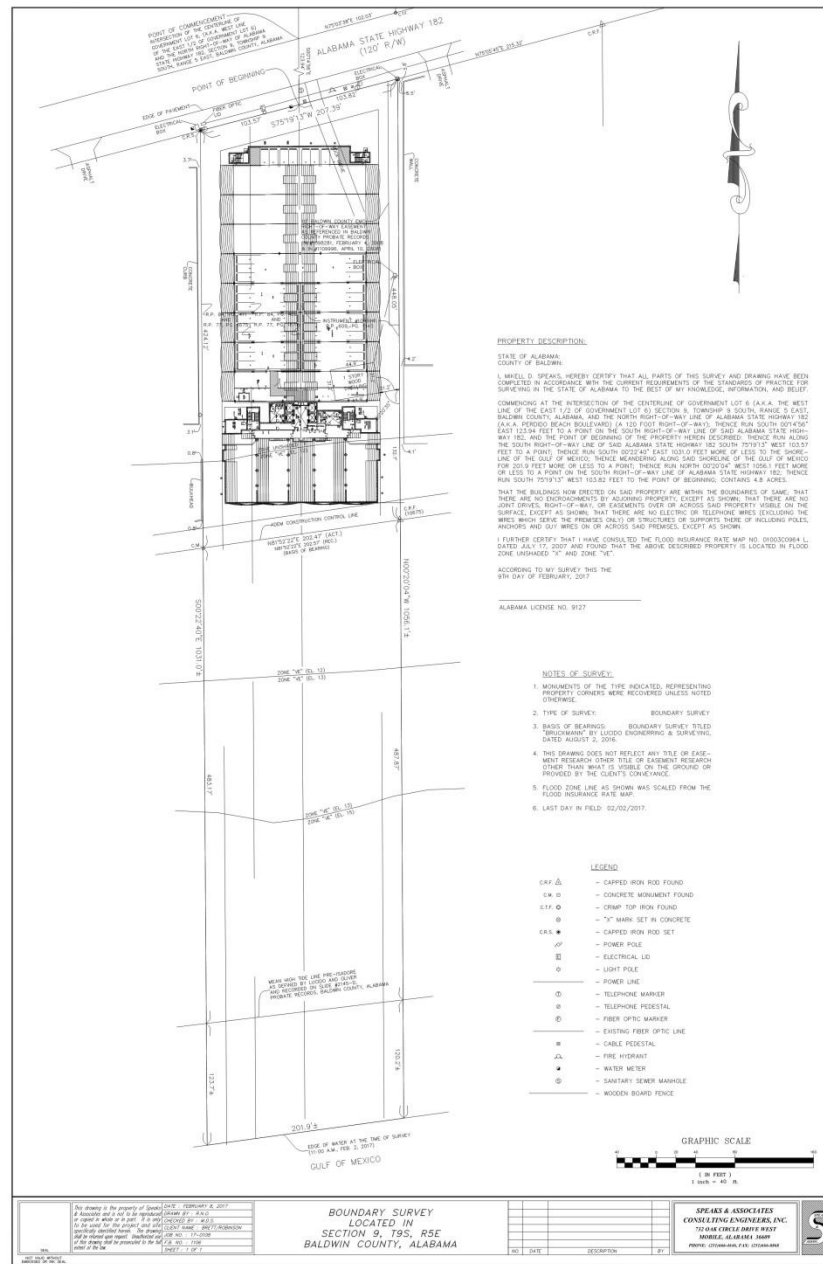
# PHOENIX ORANGE BEACH II





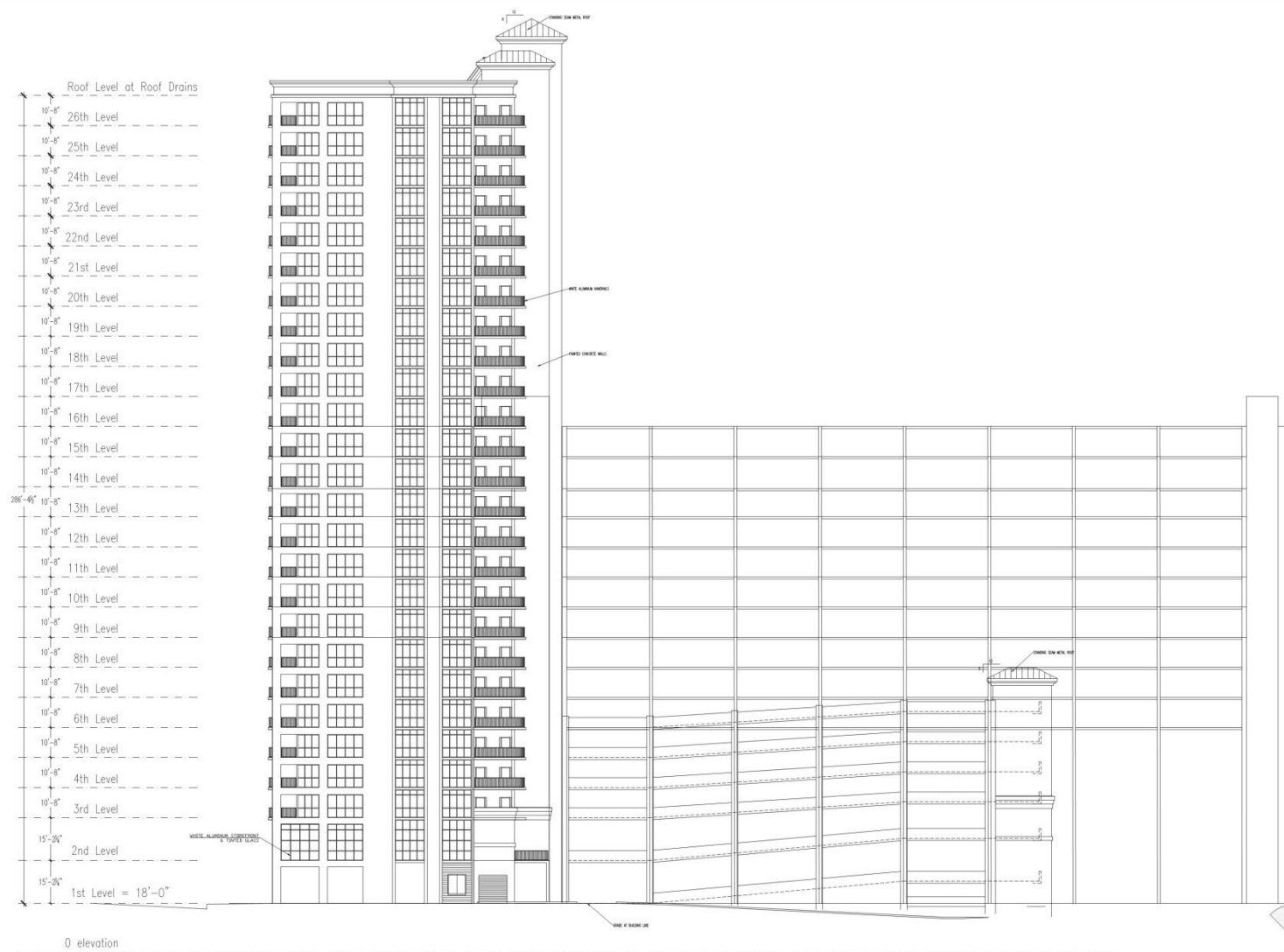
REAL ESTATE SALES  
VACATION RENTALS  
DEVELOPMENT








1. 10-21-15 Revision Note



MAXIMUM DENSITY EAST ELEVATION  
SCALE 1/16" = 1'-0"

SCALE 1/16" = 1'-0"

Seal PLANNERS  
PROJECT: 2014-002  
DATE: 01/31/15  
MS



**PHOENIX GOLF SHORES**  
**MAXIMUM DENSITY EAST ELEVATION**

**John M. Senkarkic and Associates**  
 E-mail: jmsenk@phoenixgolfshores.com  
 11506 N. 19th Avenue, Suite 300  
 Phoenix, AZ 85021  
 (602) 954-3555

PROJECT NO. 01/01/01  
 DATE: 01/01/01  
 DRAWING NO. 001

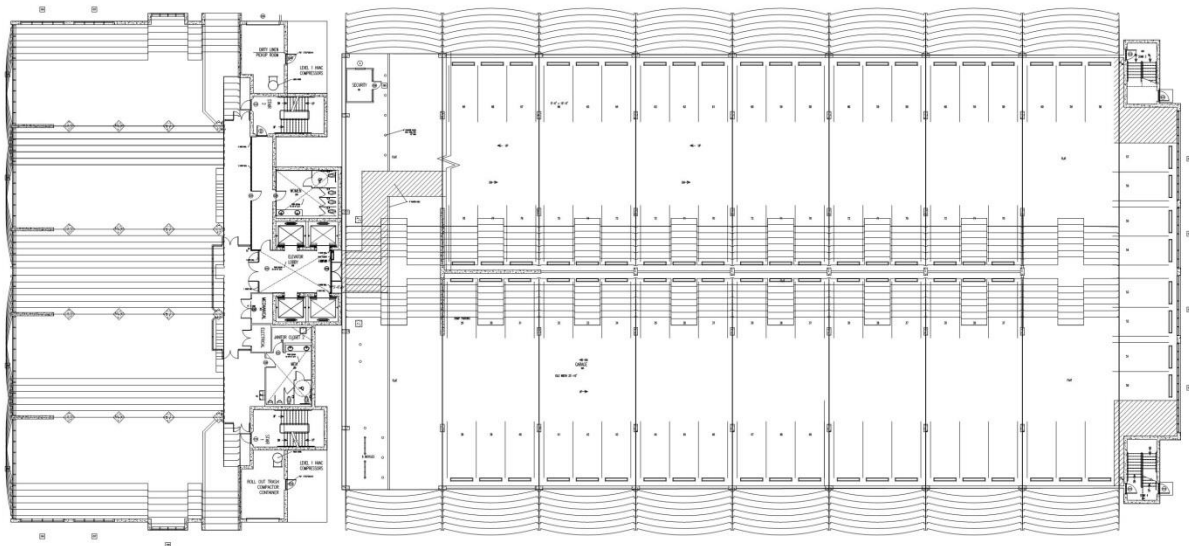


SCALE 1/16" = 1'-0"

ARCHITECTS  
SHEET

Seal PLANNERS  
PROJECT: 200  
DATE: 0

PHOENIX ORANGE BEACH II  
MAXIMUM DENSITY NORTH ELEVATION  
John M. Senkarik, A.J.A.  
and Associates  
www.senkarik-associates.com  
1156 N.W. 25th St.  
Fort Lauderdale, FL 33309  
(800) 444-5555



MAXIMUM DENSITY FLOOR PLAN  
SCALE 1/16" = 1'-0"



REVISIONS

1. 10-01-16

JOHN M. SENKARIK, AIA, ARCHITECT  
1158 N. W. 11th St., Suite 100  
Fort Lauderdale, FL 33304  
Phone: 954.561.1111  
Fax: 954.561.1112  
www.senkari.com

Project No. 1011001

See PLANS

PROJECT 7011004  
DATE 01/19/17  
DWG. 300

ARCHITECT  
Sheet: MD-101  
at:

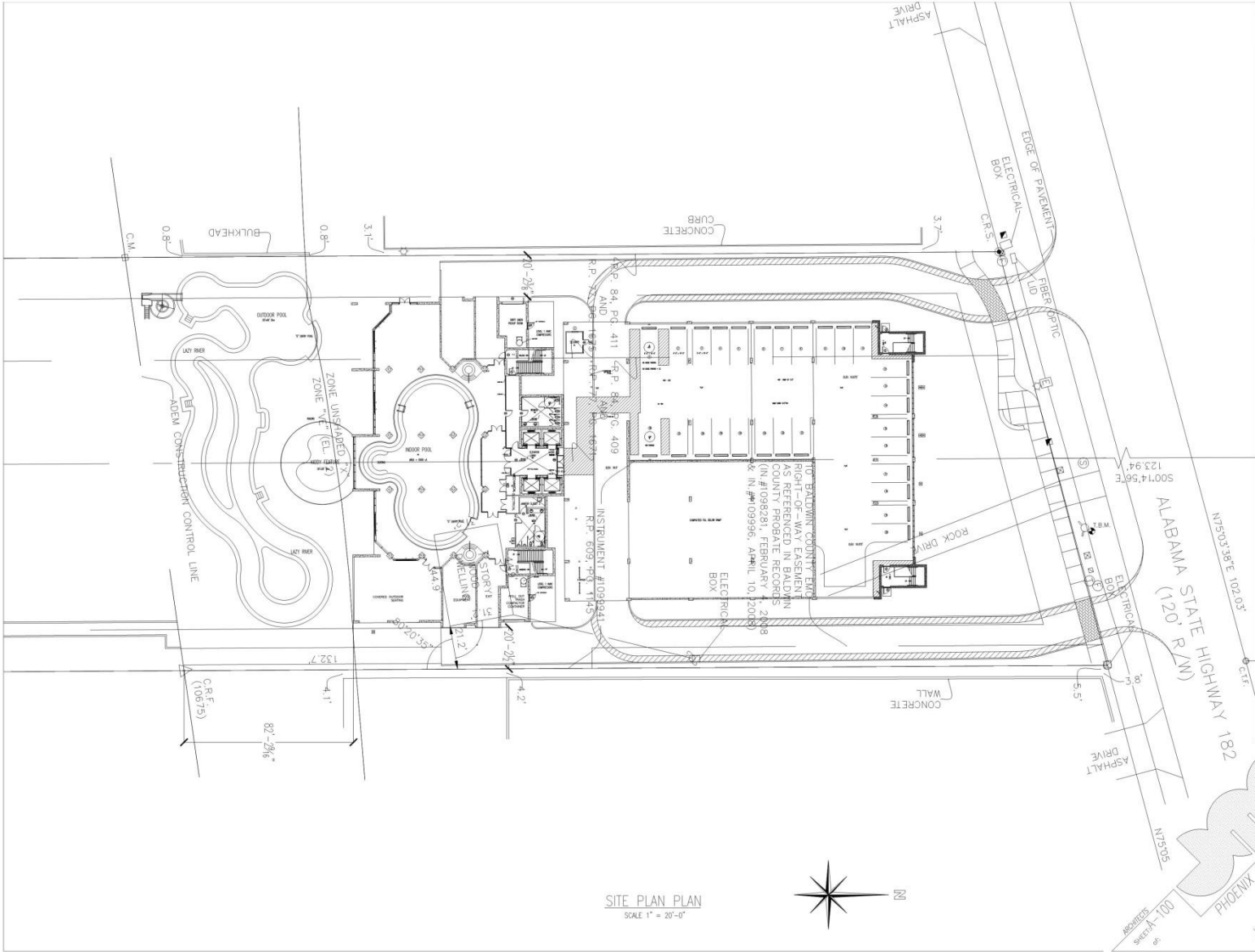


PHOENIX ORANGE BEACH II  
MAXIMUM DENSITY FLOOR PLAN  
John M. Senkarik, AIA  
and Associates  
www.senkari.com  
1158 N.W. 11th St., Suite 100  
Fort Lauderdale, FL 33304  
(954) 561-1111



# PHOENIX ORANGE BEACH II





# PHOENIX ORANGE BEACH II

- The Phoenix Orange Beach II Condominium development proposes to construct a 120 unit condominium
- Proposes 81 less units than the by-right allowable number of 201 units
- Proposes less density than BR-2 allows (25 condo units per acre vs. 42 per acre)
- Proposes total building square footage of 562,000 sf rather than the by-right square footage of 906,000 sf
- Proposes the building tower at 215' from the street(30' is required)
- Proposes the northeast corner of garage at 108' from the ROW (30' is required) and northwest corner of garage at 44' from the ROW (30' is required)
- Proposes more parking spaces than required (Required = 312 spaces vs. Actual = 324 spaces, actual includes 24 guest spaces)



# PHOENIX ORANGE BEACH II

- Proposes Floor Elevation of 18' above mean high tide (16' floor elevation allowed by Flood Zone Ordinance).
- Proposes providing the city with an easement for dune restoration
- Proposes providing the city with beach access
- Proposes to collect storm water along Highway 182 into the project's underground storm retention system
- Proposes an attractive sidewalk, landscape and hardscape along the ROW near the street
- Proposes a landscaped pedestrian oriented property which compliments the pedestrian visual effect
- Proposes an attractive stepping back effect from garage to condo tower with an aesthetic simulated window look at the front of the garage near the street
- Proposes locating the building north of the V Zone in Unshaded X Zone even though the project could be constructed in V Zone.



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

First Reading - Ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0603-ZT-17, Section 10.02 - Architectural Restrictions, Metal Siding on Commercial Buildings.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

- Description
- ▣ Ordinance

**ORDINANCE NO. 2017-xxxx**

**AN ORDINANCE FURTHER AMENDING ORDINANCE NO. 172,  
CITY OF ORANGE BEACH ZONING ORDINANCE, SECTION 10.02  
TO REMOVE ALLOWANCES FOR METAL SIDING ON THE  
REAR AND SIDES OF COMMERCIAL BUILDINGS  
(#0603-ZT-17)**

FINDINGS:

1. The following proposed amendment to the City of Orange Beach Zoning Ordinance has been heard and considered by the Orange Beach Planning Commission in Public Session after the required public advertisement period.
2. The City Council of the City of Orange has held the required Public Hearing after the required public advertisement period concerning the proposed amendment.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That Section 10.02 of the Orange Beach Zoning Ordinance is hereby amended and reordained to read as follows:

**10.02 ARCHITECTURAL RESTRICTIONS**

No metal sided, metal exterior walled buildings, except for small accessory buildings to a residence, will be allowed to be constructed in the following zoning classifications:

- RS-1 Single Family Residential District, except for properties in excess of three (3) acres
- RS-2 Single Family Residential District
- RS-3 Single Family Residential District
- RM-1 Multi Family Residential District
- RM-2 Multi Family Residential District
- NB Neighborhood Business District
- BR-1 Beach Resort District
- BR-2 Beach Resort District
- GB General Business District, except for dry boat storage buildings (rev. 04/15/2003)
- RO Retail Office District (rev. 01/15/2008)
- MR Marine Resort District, except for dry boat storage buildings (rev. 04/15/2003)
- PUD Planned Unit Development, except for dry boat storage buildings (rev. 04/15/2003)

~~A building may be metal sided or have metal exterior walls on the rear side of the building, provided that it is not adjacent to residentially zoned or used property. (rev. 04/15/2003)~~

Mini-warehouse buildings constructed on properties zoned GB and PUD may be metal sided if one (1) of the following three (3) criteria is met.

- a. The mini-warehouse building is sited to rear of a principal building; or
- b. The mini-warehouse building is sited more than one hundred seventy-five (175) feet from the right-of-ways of Canal Road, Orange Beach Boulevard, Perdido Beach Boulevard, and the Foley Beach Express, or
- c. Enclosed by an eight (8) privacy fence and meets all of the landscape requirements of the Zoning Ordinance (rev. 04/15/2003)

2. That this Ordinance shall become effective immediately upon its adoption and publication as required by law.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

The City Clerk of the City of Orange Beach, Alabama hereby certifies that the foregoing ORDINANCE 2017-xxxx was posted on \_\_\_\_\_ in the following three (3) public places:  
Orange Beach City Hall \_\_\_\_\_  
Orange Beach Post Office \_\_\_\_\_  
Orange Beach Public Library \_\_\_\_\_

\_\_\_\_\_  
Renee Eberly, City Clerk





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

First Reading - Ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0605-ZT-17, Section 5.04 - Temporary Storage Containers.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

▣ Ordinance

**ORDINANCE NO. 2017-xxxx**

**AN ORDINANCE FURTHER AMENDING ORDINANCE NO. 172,  
CITY OF ORANGE BEACH ZONING ORDINANCE, SECTION 5.04  
TO REGULATE THE USE OF PODS AND METAL CARGO CONTAINERS AS  
TEMPORARY STORAGE STRUCTURES  
(#0605-ZT-17)**

FINDINGS:

1. The following proposed amendment to the City of Orange Beach Zoning Ordinance has been heard and considered by the Orange Beach Planning Commission in Public Session after the required public advertisement period.
2. The City Council of the City of Orange has held the required Public Hearing after the required public advertisement period concerning the proposed amendment.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That Section 5.04 of the Orange Beach Zoning Ordinance is hereby amended and reordained to read as follows:

**5.04 ACCESSORY STRUCTURES AND/OR BUILDINGS (rev. 07/07/2015)**

**5.0401 Definitions**

The following words, phrases, and its derivations, as used herein, shall have the meanings ascribed to it, except where the context clearly indicates a different meaning.

- a. *Accessory Structure* is a subordinate structure that is detached from but on the same lot as the principal structure, and the use of which is (1) reasonably necessary to the use of the principal structure; (2) subordinate to the principal structure; and (3) does not change or alter the character of the premises. Accessory structures may be classified in one of the following categories:

1. *Detached accessory structures* are storage buildings, detached garages, carports, wood sheds, tool sheds, gazebos, non-commercial greenhouses, workshops, and similar structures.
2. *Marine accessory structures* are boathouses located over water, piers, docks, boat ramps, boat slips, and similar structures.
3. *Pool accesory structures* are pool houses and cabanas.

Parking areas, driveways, fire hydrants, mailboxes, trash containers/receptacles, telephone and other utility poles, bulkheads, and fences are not accessory structures.

- b. *Accessory Use* is the use of land, a detached structure or building, or portion thereof customarily incidental and subordinate to the principal use of the land, structure or building and located on the same lot with the principal use.

All accessory structures and uses are subject to the requirements of this Ordinance.

**5.0402 Number of Accessory Structures on Lot**

Only one (1) principal structure and one (1) detached accessory structure may be erected on any lot located in the RS zoning district, unless otherwise specified by Section 5.0601 of this Ordinance. In addition to the principal structure and detached accessory structure, a lot in the RS zoning district may also contain marine accessory structures and one (1) pool accessory structure.

No accessory structure shall be used as a dwelling unit.

**5.403 Location on Lot**

Accessory structures are permitted in the side or rear yard. Accessory structures may be permitted in the front yard if the distance between the accessory structure and the required front setback line is a minimum of one hundred (100) feet.

**5.404 Maximum Area**

The combined square footage of the detached accessory structure and pool accessory structure shall not exceed thirty percent (30%) of the yard area in which it is located or seventy-five percent (75%) of the square footage of the principal structure, whichever is less.

#### 5.0405 Maximum Height

Detached accessory structures and pool accessory structures are limited to a maximum height of twenty (20) feet. Marine accessory structures are excluded from the height limit.

#### 5.0406 Setbacks

Detached accessory structure or pool accessory structures with a square footage equal to or less than one hundred (100) square feet shall be located a minimum of five (5) feet from any rear or side lot line. Detached accessory structures or pool accessory structures with a square footage exceeding one hundred (100) square feet and equal to or less than four hundred (400) square feet shall be located a minimum of ten (10) feet from any rear or side lot line. Detached accessory structures or pool accessory structures with a square footage exceeding four hundred (400) square feet shall have the same minimum setback requirements listed in Section 4.03 of this Ordinance for the principal structure. Marine accessory structures are excluded from the setback requirements.

Detached accessory structures or pool accessory structures with a maximum height of ten (10) feet or less shall be located a minimum of ten (10) feet from any rear or side lot line. Detached accessory structures or pool accessory structures with a maximum height exceeding ten (10) feet shall have the same minimum setback requirements listed in Section 4.03 of this Ordinance for the principal structure.

When accessory structures are located in the front yard, the accessory structures shall be located a minimum of one hundred (100) feet from the required front setback line for the principal structure.

#### 5.0407 Separation between Principal and Accessory Structures

Accessory structures shall be located no closer than five (5) feet from the principal structure.

#### 5.0408 Utilities

There shall be one (1) power meter to service the principal structure and accessory structures. The Building Official may authorize requests for additional power meters if the property owner can provide evidence to justify the need for such.

#### 5.0409 Portable Buildings

Portable buildings affiliated with new construction may be permitted after receipt of a building permit issued by the Orange Beach Building Official. No portable building shall be permitted on any parcel of land except upon the approval of a temporary permit by City Council. Residential storage buildings are exempted from this requirement.

#### 5.0410 Temporary Storage Containers

- a. Definition. A temporary storage container is any box-like container transported by truck or trailer to a designated location for the limited purpose of loading and unloading contents. Such containers may include cargo containers and PODS (portable on-demand storage) and are intended for the temporary storage of household goods on residential properties and business specific goods on commercial properties. Such containers shall not be permanent, shall not be considered a building, and shall not be connected to any utilities.
- b. Permit. A Temporary Storage Container Permit shall be required prior to placing a temporary storage container on private property. An application for Temporary Storage Container Permit shall be made to the Community Development Department on forms prescribed by the Department. The application shall include a description of the type of container and the general location of the placement. A permit fee will be required at the time of permit issuance. The application shall be accompanied by the following:
  - ~~1. Site plan showing the location of the proposed container, including setbacks from property lines and other structures located on the site, driveway, drive aisles, parking spaces, etc.~~
  - ~~2. Details regarding the container.~~
  - ~~3. Other information the Community Development Department may require to adequately review the application.~~



~~4. Temporary Storage Container Permit fee.~~

- c. Number and Time Period. For single-family dwellings, duplexes, and Planned Unit Developments containing single-family dwellings or duplexes, no more than one (1) temporary storage container shall be permitted for a period of 45 days.

For multi-family residential and commercial properties, multiple temporary storage containers may be permitted and shall be allowed for a period of 90 days

- d. Time Extension. A property owner may request a time extension on the placement of a temporary storage container, provided the property owner can demonstrate that extenuating circumstances exist to justify the extension.
- e. Placement or Location. Temporary storage containers shall be setback a minimum of ten (10) feet from the front property line and shall not encroach on public property or public or private right-of-way. Temporary storage containers are prohibited on vacant lots.
- f. Exception. A Temporary Storage Container Permit will not be required if a storage container is to remain on the site for a time period equal to or less than ten (10) consecutive days.

For multi-family residential and commercial properties, temporary storage containers shall not be placed in required parking spaces or in required landscaped areas unless approved as a condition of the permit.

~~5.0410~~ 5.0411 Time of Construction

No accessory structure shall be constructed upon a lot until the building permit for the principal structure to which it is accessory has been acquired.

~~5.0411~~ 5.0412 Removal of Accessory Structure

If the principal structure is destroyed or removed, the accessory structure and use shall no longer be allowed, unless a building permit for the principal structure is issued within one (1) year. City Council may grant a time extension on an existing conforming accessory structure should the accessory structure become nonconforming after the effective date of this Ordinance. The length of the extension is at the discretion of City Council.

A nonconforming accessory structure existing before the effective date of this Ordinance may remain but shall not be enlarged, extended or replaced, except in strict compliance with all requirements of this Ordinance.

2. That this Ordinance shall become effective immediately upon its adoption and publication as required by law.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

The City Clerk of the City of Orange Beach, Alabama hereby certifies that the foregoing ORDINANCE 2017-xxxx was posted on \_\_\_\_\_ in the following three (3) public places:  
Orange Beach City Hall \_\_\_\_\_  
Orange Beach Post Office \_\_\_\_\_  
Orange Beach Public Library \_\_\_\_\_

\_\_\_\_\_  
Renee Eberly, City Clerk



**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Community Development

**Description of Topic:**

First Reading - Ordinance amending Ordinance No. 172, the Zoning Ordinance, Case No. 0702-PUD-17, Phoenix Orange Beach II PUD Preliminary and Final PUD Approval.

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

▣ Ordinance

**ORDINANCE NO. 2017-xxxx**

**AN ORDINANCE FURTHER AMENDING ORDINANCE NO. 172,  
CITY OF ORANGE BEACH ZONING ORDINANCE,  
PHOENIX ORANGE BEACH II  
(#0702-PUD-17)**

FINDINGS:

1. The following proposed amendment to the City of Orange Beach Zoning Ordinance has been heard and considered by the Orange Beach Planning Commission in Public Session after the required public advertisement period.
2. The City Council of the City of Orange has held the required Public Hearing after the required public advertisement period concerning the proposed amendment.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That the Zoning Ordinance of the City of Orange Beach as previously amended is hereby further amended for the property described;
2. That the zoning classification is hereby rezoned from BR-2 (Beach Resort High Density) to PUD (Planned Unit Development) for the property legally described as follows:

51.65'X650'IRR BEG AT INT OF S ROW OF ALA HWY 182 & E LINE  
OF SEC 9 RUN TH SW 1425' TO POB TH RUN S 660'S TH W 51.65' T  
H N 650'S TH NE 51.65' TO POB SEC9 T9S R5E RP77 P1675  
*Tax Parcel ID #65-02-09-0-002-078.002, PPIN #005210*

51.65' X 670'S 532.4' FR INTER OF S R/W LINE OF HWY 182  
AND E LINE OF SEC 9 RUN SW ALG HWY 182 1370' FOR BEG. RUN  
TH S 670'S 532.4' TH W 51.65' TH N 660'S TH NE 51.65' TO POB  
SEC 9 T9S R5E RP84 PG409  
*Tax Parcel ID #65-02-09-0-002-078.000, PPIN #005211*

100' X 670'(S) FM PT OF INER OF E/L OF SEC 9 AND S/L OT HWY  
182 RUN SW ALG S/L OF HWY 182 1270'(S) TO POB TH S 685'(S),  
TH W'LY ALG GULF 100', TH N 670'(S) 532.4(D), TH E ALG HWY 1  
82 100' TO POB CONTAINING 1.5 ACRES CITY OF ORANGE BEACH SEC  
9-T9S-R5E (CONFIRMATION OF TITLE) (WILL OF RUTH BRUCKMANN)  
RP609 PG1145  
*Tax Parcel ID #65-02-09-0-002-079.000, PPIN #39293*
3. That the Zoning ordinance of the City of Orange Beach as previously amended is hereby further amended to approve the preliminary and final PUD for Phoenix Orange Beach II pursuant to application #0702-PUD-17 on file with the Department of Community Development.
4. That all ordinances or parts of ordinances in conflict are, to the extent of such conflict, repealed.
5. That this Ordinance shall become effective immediately upon its adoption and publication as required by law.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

The City Clerk of the City of Orange Beach, Alabama hereby certifies  
that the foregoing ORDINANCE 2017-xxxx  
was posted on \_\_\_\_\_ in the following three  
(3) public places:  
Orange Beach City Hall \_\_\_\_\_  
Orange Beach Post Office \_\_\_\_\_  
Orange Beach Public Library \_\_\_\_\_

\_\_\_\_\_  
Renee Eberly, City Clerk





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Finance

**Description of Topic:**

First Reading - Ordinance amending Chapter 50, Article III, Section 50-70 of the Code of Ordinances for the City of Orange Beach, Alabama, entitled "Business License - Penalties and Interest."

**Action Options/Recommendation:**

Required amendment to conform to Act 2017-415 passed by the State of Alabama, removing the option for counties and municipalities to charge interest at the rate of one percent (1%) per month. Recommended by Finance Committee.

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Ordinance
- ▣ Email from Alabama Department of Revenue

**ORDINANCE NO. 2017-xxxx**

**AN ORDINANCE AMENDING CHAPTER 50, ARTICLE III, SECTION 50-70 OF THE  
CODE OF ORDINANCES FOR THE CITY OF ORANGE BEACH, ALABAMA,  
ENTITLED “BUSINESS LICENSE CODE – PENALTIES AND INTEREST”**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That Chapter 50, Article III, Section 50-70 of the Code of Ordinances for the City of Orange Beach is hereby amended as follows:

ARTICLE III. - Business License Code

Sec. 50-70. - Penalties and interest.

- (a) All licenses not paid within 30 days from the date they fall due shall be increased by 15 percent for the first 30 days they shall be delinquent, or fraction thereof, and shall be measured by an additional 15 percent for a delinquency of 60 or more days, but this provision shall not be deemed to authorize the delay of 30 days in the payment of the license due, which may be enforced at once.
- (b) In the case of persons who began business on or after the first day of the calendar year, the license for such "new business" shall be increased by 15 percent for the first 15 days they shall be delinquent, and shall be measured by an additional 15 percent for a delinquency of 45 days or more.
- (c) ~~All delinquent accounts (both license taxes and penalties) shall also be charged simple interest at the rate of one percent per month.~~
- (d) Notwithstanding the foregoing, no fine or penalty under this section shall be assessed, or if assessed, shall be waived, if reasonable cause exists. "Reasonable cause" shall mean: The death or major illness of or an accident involving a sole proprietor causing serious bodily injury that in either case resulted in the sole proprietor being unable to purchase the license or operate his or her business during the ten days preceding the due date for the license; natural disaster, fire, explosion, or accident that caused the closing or temporary cessation of the business of the taxpayer during the ten days preceding the due date for the license; or reliance on the erroneous advice of an employee or agent of the revenue department of the taxing jurisdiction or its designee given in writing or by electronic mail.
2. That this Ordinance shall become effective immediately upon its adoption and publication as required by law.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

The City Clerk of the City of Orange Beach, Alabama hereby certifies  
that the foregoing ORDINANCE 2017-xxxx  
was posted on \_\_\_\_\_ in the following three  
(3) public places:  
Orange Beach City Hall \_\_\_\_\_  
Orange Beach Post Office \_\_\_\_\_  
Orange Beach Public Library \_\_\_\_\_

\_\_\_\_\_  
Renee Eberly, City Clerk

**Bill Fetner, Asst. Finance Director**

---

**From:** Robbins, Wanda <Wanda.Robbins@revenue.alabama.gov>  
**Sent:** Thursday, June 22, 2017 9:55 AM  
**To:** BFETNER@CITYOFORANGEBEACH.COM  
**Subject:** Act 2017-415 - Interest Rates & Licenses

**To:** County and Municipal Governments:

**Subject:** Act 2017-415 Relating to County and Municipal Allowable Interest Rate and Municipal Delivery Licenses and Issuance Fees

Act 2017-415 ([http://revenue.alabama.gov/salestax/Act\\_2017-415.pdf](http://revenue.alabama.gov/salestax/Act_2017-415.pdf)), effective August 1, 2017, amends §11-3-11.3 and §11-51-208, removing the option for counties and municipalities to charge interest at the rate of one percent (1%) per month. The applicable interest rate to be charged by or due from the county/municipality shall be determined pursuant to §40-1-44, which links interest to the underpayment rate established quarterly by the United States Secretary of the Treasury under the authority of 26 U.S.C. §6621. The current quarterly interest rate is 4% APR (<http://revenue.alabama.gov/salestax/interest.cfm>).

**The act also amends §11-51-194 regarding delivery licenses and issuance fees.**





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Administration

**Description of Topic:**

First Reading - Ordinance amending Chapter 50, Article IV, Division 2 of the Code of Ordinances for the City of Orange Beach, Alabama, entitled "Sales Tax" to require filing and payment of taxes online.

**Action Options/Recommendation:**

Summary of Amendment:

1. Requires all taxpayers to file and pay taxes on line using My Alabama Tax(MAT).
2. Filing will parallel state filing requirements.
3. Will make the filing of taxes more efficient for the taxpayers and less time consuming for the employee(s) at the city level, therefore allowing employee to handle other tasks pertaining to his or her job.
4. In cases of hardship, exceptions will be made on a case by case basis.

Recommended by Finance Committee.

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

- ▣ Ordinance

**ORDINANCE NO. 2017-xxxx**

**AN ORDINANCE AMENDING CHAPTER 50, ARTICLE IV OF THE  
CODE OF ORDINANCES FOR THE CITY OF ORANGE BEACH, ALABAMA,  
ENTITLED “SALES TAX” TO REQUIRE  
ELECTRONIC FILING AND PAYMENT OF TAXES ONLINE**

---

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, THAT CHAPTER 50, ARTICLE IV OF THE CODE OF ORDINANCES FOR THE CITY OF ORANGE BEACH IS HEREBY AMENDED AS FOLLOWS:

1. That a new section entitled, “Electronic Filing and Payment of Tax Returns,” be added as follows:

| Sec. 50-113. - Electronic filing and payment of tax returns.

- (a) Electronic filing required. To increase the accuracy and efficiency of reporting and collecting the taxes levied in Division 2, 3, 4 and 5 of this Article—i.e. sales, use, lease and lodging—all taxpayers shall file said tax reports electronically through the state filing and remittance program known as My Alabama Taxes (MAT).
- (b) Electronic payment required. All taxpayers whose electronically filed returns show a payment due in the amount of seven hundred fifty dollars (\$750.00) or more shall make the payment electronically. After the seven hundred fifty dollar (\$750.00) threshold is met for the first time, all subsequent payments must remade electronically regardless of the amount.
- (c) Electronic filing and signature requirements.
  - (1) The tax return consists of the electronic transmission and electronic data, and any and all supporting documentations as required by rule, regulation or policy.
  - (2) Electronic filing signature requirements shall be as set forth by the State of Alabama Department of Revenue’s Rules and Regulations, and/or other applicable law, rule, regulation or policy.
- (d) Hardship. The Finance Director may relieve a taxpayer from the electronic filing mandate upon a showing of undue hardship. For the purpose of this section, “undue hardship” means special circumstances exist that make it unreasonable for the taxpayer to file electronically. “Undue hardship” also includes any exemption recognized by the United States Internal Revenue Service Regulations promulgated pursuant to section 6011(3)3 of the Internal Revenue Code. To qualify for a hardship exemption:
  - (1) The taxpayer shall file a request for relief under this section with the Finance Director within thirty (30) days of the time the return is due.
  - (2) The Finance Director is authorized to prescribe application forms, request documents and other information as may be required to make a decision on the application.
  - (3) The decision of the Finance Director shall be made within thirty (30) days of the receipt of a completed application. The decision of the Finance Director is final.
- (e) Due date for filing electronic returns and payments. The due date for filing electronic returns for city taxes shall be the same date applicable to paper tax forms and payments. The date and time the taxpayer files the tax return through the MAT system shall be the date and time used to determine the timely filing of an electronic return.

2. That Section 50-142 be amended and restated as follows:

| Sec. 50-142. - Penalty for failure to pay tax; interest.

Any person who fails to pay the tax levied in this division within the time required by this division shall pay, in addition to the tax, a penalty of ten percent of the amount of tax due, together with interest thereon in the maximum amount allowed by *Alabama Code* section 40-1-44(1975) for each month, or fraction thereof, from the date at which the tax levied in this division became due and payable. Such penalty and interest shall be assessed and collected as part of the tax. The city, if a good and sufficient reason is shown, may waive or remit the ten percent penalty or a portion thereof.

3. That Section 50-188 be amended and restated as follows:

| Sec. 50-188. - Penalty for failure to pay tax; interest.

Any person failing to pay any tax to the city or any amount of tax required to be collected by this division and paid to the city, except amounts determined to be due by the city under the provisions of sections 50-

189 and 50-190, within the time required by this division, shall pay, in addition to the tax or the amount of tax required to be collected by this division, a penalty of ten percent, together with interest thereon in the maximum amount allowed by *Alabama Code* section 40-1-44(1975) for each month, or fraction thereof, from the date at which the tax or the amount of tax required to be collected by this division became due and payable to the city. The city, if good and sufficient reason is shown, may waive or remit the ten percent penalty or a portion thereof.

4. That this Ordinance shall become effective immediately upon its adoption and publication as required by law.

ADOPTED THIS 15<sup>th</sup> DAY OF AUGUST, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

The City Clerk of the City of Orange Beach, Alabama hereby certifies that the foregoing **ORDINANCE 2017-xxxx** was posted on \_\_\_\_\_ in the following three (3) public places:  
Orange Beach City Hall \_\_\_\_\_  
Orange Beach Post Office \_\_\_\_\_  
Orange Beach Public Library \_\_\_\_\_

\_\_\_\_\_  
Renee Eberly, City Clerk





**REGULAR COUNCIL MEETING  
AUGUST 15, 2017**

---

**Departments:** Building

**Description of Topic:**

First Reading - Ordinance amending Chapter 42, Article III, Section 42-171 of the Code of Ordinances for the City of Orange Beach, Alabama, entitled "Basis for Areas of Special Flood Hazard."

**Action Options/Recommendation:**

**Source of Funding (if applicable) :**

---

**ATTACHMENTS:**

Description

▣ Ordinance

**ORDINANCE NO. 2017-xxxx**

**AN ORDINANCE AMENDING CHAPTER 42, ARTICLE III, SECTION 42-171 OF THE  
CODE OF ORDINANCES FOR THE CITY OF ORANGE BEACH, ALABAMA,  
ENTITLED “BASIS FOR AREAS OF SPECIAL FLOOD HAZARD”**

---

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ORANGE BEACH, ALABAMA, AS FOLLOWS:

1. That Chapter 42, Article III, Section 42-171 of the Code of Code of Ordinances for the City of Orange Beach is hereby amended as follows:

Sec. 42-171. - Basis for areas of special flood hazard.

The areas of special flood hazard identified by the Federal Emergency Management Agency in its Baldwin County Flood Insurance Study ~~dated March 7, 2004~~ preliminarily dated July 31, 2017, with accompanying maps and other supporting data and any revisions thereto, are adopted by reference and declared to be a part of this division. For those land areas acquired by a municipality through annexation, the current effective FIS and data for Baldwin County are hereby adopted by reference. Areas of Special Flood Hazard may also include those areas known to have flooded historically or defined through standard engineering analysis by governmental agencies or private parties but not yet incorporated in an FIS.

2. That this Ordinance shall become effective immediately upon its adoption and publication as required by law.

ADOPTED THIS 5<sup>th</sup> DAY OF SEPTEMBER, 2017.

\_\_\_\_\_  
Renee Eberly  
City Clerk

The City Clerk of the City of Orange Beach, Alabama hereby certifies  
that the foregoing **ORDINANCE 2017-xxxx**  
was posted on \_\_\_\_\_ in the following three  
(3) public places:  
Orange Beach City Hall \_\_\_\_\_  
Orange Beach Post Office \_\_\_\_\_  
Orange Beach Public Library \_\_\_\_\_

\_\_\_\_\_  
Renee Eberly, City Clerk